



CITY OF BATTLE CREEK

COMMUNITY SERVICES DEPARTMENT – PLANNING AND ZONING

1 of 101

AGENDA

Historic District Commission Meeting

Date: Monday, January 13, 2025
Time: 4:00 P.M.
Where: City Hall, Room 301

1. Call to Order:

2. Attendance:

3. Additions or Deletions to Agenda:

4. Approval of minutes: December 9, 2024

5. Correspondence:

6. Old Business:

A. H22-24 (99 W Michigan Ave)

Petition for a Certificate of Appropriateness for the property located at 99 W Michigan Ave, filed by Cody Newman for the addition of a second floor to the building that will become residential units with a brick façade in the rear of the building, an addition of a third floor and rooftop deck that will be masonry on the front and rear facades. Parcel #0253-00-044-0.

7. New Business:

A. H01-25 (238 NE Capital Ave)

Petition for a Certificate of Appropriateness for the property located at 238 NE Capital Ave, filed by Donald McClellan for the construction of a carport for residential use, reconstruction of the sidewalk, and replacement of the stairs with formal painted concrete. Parcel #3870-00-008-0.

B. H02-25 (252 Chestnut St)

Petition for a Certificate of Appropriateness for the property located at 252 Chestnut St, filed by Olmstead Construction for the removal and replacement of roofing, to include the replacement of 3 tab asphalt shingles and replacement of the cooper flat roofing. Parcel #5390-00-014-0.

C. 4th Quarter Administrative Approval Report

D. SHPO CLG Grant Letter of Support

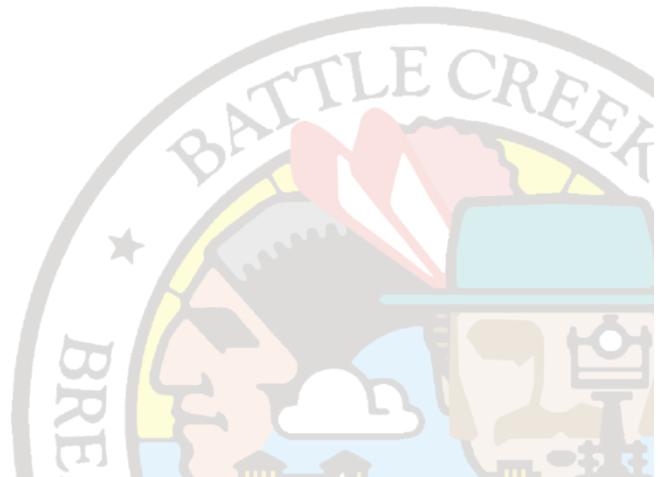
E. Election of Officers

8. Comments by the Public:

9. Comments from Commission members and Staff:

10. Adjournment:

The City of Battle Creek will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered in the meeting upon notice to the City of Battle Creek. Individuals with disabilities requiring auxiliary aides or services should contact the City of Battle Creek by writing or calling the following: Office of the Planning & Zoning Division, 10 North Division – Suite 117, Battle Creek, MI 49016, (269)966-3348 (Voice), (269)966-3348 (TDD)



CITY OF BATTLE CREEK

HISTORIC DISTRICT COMMISSION MEETING

10 North Division, Battle Creek, MI 49014
Minutes for Monday, December 9, 2024

MEETING CALLED TO ORDER: By Chairperson Simpson 4:02 p.m.

ATTENDANCE: Chairperson Simpson asked for attendance to be noted.

Comm. Simpson, Present

Comm. Drozdowski, Present

Comm. Davis, Present

Comm. Sallee, Present

Comm. Thornton, Present

Comm. Steinbrunner, Present

Comm. Case, Present

Staff Present: Darcy Schmitt, Planning and Zoning Supervisor, Travis Sullivan, Planner Administrator, Melody Carlsen, Administrative Assistant, Patrick Batterson, Assistant City Attorney.

ADDITIONS OR DELETIONS TO AGENDA: Steering Committee Meeting Date.

Travis Sullivan asked the body if they would be willing to meet for thirty minutes before the January 13, 2025.

APPROVAL OF MINUTES: Approval of the November 4, 2024 meeting minutes.

COMMISSIONER CASE MADE A MOTION TO APPROVE THE NOVEMBER 4, 2024 MEETING MINUTES, SECONDED BY COMMISSIONER THORNTON.

A roll vote was take: ALL IN FAVOR, NONE OPPOSED, MOTION APPROVED.

CORRESPONDENCE: None.

OLD BUSINESS: None.

NEW BUSINESS:

A. H21-24 (34 W Jackson St)

Petition for a Certificate of Appropriateness for the property located at 34 W Jackson St, filed by Cody Newman of Driven Design Studio for the removal of two existing cupolas and cap them with a blue metal roof to match the existing roof on the subject structure Parcel #0252-00-045-0.

Staff Presentation: Chairperson Simpson did not call for the Staff Report.

Applicant Presentation: Cody Newman of Driven Design Studio was present to speak and answer questions from Commissioners.

Questions from Commissioners:

Commissioner Davis asked if the current blue color is not able to be matched, what the options would be.

Commissioner Simpson asked if Mr. Newman was aware of any long term plans for the building.

Commissioner Case asked if there were plans to remove other cupolas or caps.

COMMISSIONER DROZDOWSKI MADE A MOTION TO APPROVE H21-24. SECONDED BY COMMISSIONER SALLEE.

A roll vote was taken: ALL IN FAVOR, NONE OPPOSED.

Commissioner Steinbrunner was present during the vote.

B. H22-24 (99 W Michigan Ave)

Petition for a Certificate of Appropriateness for the property located at 99 W Michigan Ave, filed by Cody Newman for the addition of a second floor to the building that will become residential units with a brick façade in the rear of the building, an addition of a third floor and rooftop deck. Masonry on the front and rear facades. Parcel #0253-00-044-0.

Staff Presentation: Chairperson Simpson did not call for the Staff Report.

Applicant Presentation: Cody Newman of Driven Design Studio; property owners, Percy and Carla Bean were present was present to speak and answer questions from Commissioners.

Questions from Commissioners:

Commissioner Simpson inquired to previous ownership, asked about inside use on the 1st floor, asked if there were patios on the front and backside of the building and if the windows would be able to open, what the ground level entrance was going to be used for, if the owners were receiving any assistance for the rentals, if any skylights would be installed on the third floor, if the third floor overhangs the second floor, and if the elevator would reach all floors.

Commissioner Case asked about the different color of windows on the floors, and the window material. Asked what the grey material on the third floor was made of, asked what the gap on the floor plan of the second and third floor was and if there was a floor above, how would it work if the windows were operable, how much room from the building to the back property line, when construction would begin, asked about the handrail height, inquired to the bump out on the rear of the building, and if the elevator would block the windows.

Commissioner Sallee asked if each apartment unit will have access to the deck.

Commissioner Davis made a suggestion of using brick for the insets on the front of the third floor, use the rooftop deck.

MOTION MADE BY COMMISSIONER THORNTON TO APPROVE H22-24, SECONDED BY COMMISSIONER SALLEE.

Discussion:

Commissioner Case was concerned the plans were preliminary and not final plans, and that procedures/processes were not being followed, would like to offer a letter of support for the plans currently submitted and to have the applicant resubmit with final drawings.

Commissioner Simpson expressed faith in the applicant. Asked the architect if he could return with drawings of the windows and final treatment of the facade.

Commissioner Sallee would like to approve the petition based on knowing the owner and architect and that they will do what they say they will do.

Commissioner Davis asked if they can offer a provisional approval.

Commissioner Steinbrunner asked if the Commission had any rights to a building height and what is seen from the road by the average person, and if a month delay would be detriment.

MOTION TO APPROVE H22-24 WITHDRAWN BY COMMISSIONER THORNTON AND SECONDED BY COMMISSIONER SALLEE.

MOTION MADE BY COMMISSIONER CASE TO POSPONE ITEM H22-24 UNTIL THE JANUARY HISTORIC DISTRICT COMMISSION MEETING, SECONDED BY COMMISSIONER SALLEE.

A roll vote was taken: ALL IN FAVOR, NONE OPPOSED. MOTION APPROVED.

C. H23-24 (50 W Jackson St)

Petition for a Certificate of Appropriateness for the property located at 50 W Jackson St, filed by Cody Newman for changes to the exterior of the building to enclose the existing “cut out” with a new storefront and to patch and paint the EIFS. Parcel #8750-00-001-0.

Staff Presentation: Chairman Simpson did not call for the Staff Report.

Applicant Presentation: Cody Newman of Driven Design Studio was present to speak and answer questions from Commissioners.

Questions from Commissioners:

Commissioner Simpson will the look of the new windows match the current.

Commissioner Steinbrunner asked if the tenant purchased the air right to the space, is the existing space walkable or is it open to below.

Commissioner Case asked if the mullions would be blue, inquired to the color of the panels, color of glazing.

MOTION MADE BY COMMISSIONER DROZDOWSKI TO APPROVE H23-24, SECONDED BY COMMISSIONER CASE.

A roll vote was taken: ALL IN FAVOR, NONE OPPOSED. MOTION APPROVED.

COMMENTS FROM THE PUBLIC: None.

COMMENTS FROM COMMISSION MEMBERS AND STAFF:

Commissioner Steinbrunner asks staff if there was any way to receive text message reminders of the meetings the day of the meeting.

Commissioner Sallee stated she does not understand why the commission passes everything for the white people but the black people we always have to have them come back.

Commissioner Simpson addressed Commissioner Sallee’s comments.

Steering Committee Meeting date set for January 13th at 3:30 pm.

MOTION MADE BY COMMISSIONER DAVIS FOR THE STEERING COMMITTEE TO MEET ON JANUARY 13TH, SECONDED BY COMMISSIONER DROZDOWSKI.

A roll vote was taken: ALL IN FAVOR, NONE OPPOSED. MOTION APPROVED.

ADJOURNMENT: Chairperson Simpson adjourned the meeting at 5:22 pm.

Submitted by: Melody Carlsen, Planning and Zoning Administrative Assistant

DRAFT



Battle Creek Historic District Commission

Staff Report

99 W Michigan Ave

Meeting: January 13, 2025

To: Historic District Commission

From: Travis Sullivan, Planning and Zoning Administrator

Date: December 27, 2024

Subject: The petition, filed by Cody Newman (Driven Design Studio) on behalf of Battle Creek Unlimited, to renovate the existing structure, adding back the second floor of the structure, and adding a third story façade with rooftop deck.

Summary

At the December 9, 2024 regular meeting, the Historic District Commission (HDC) reviewed a proposed project at 99 W Michigan, to include the rehabilitation and repurposing of the existing building on the site to include a game room in the basement and a restaurant on the first floor, the reconstruction of the second floor which was destroyed by fire at some point during the 1940's in an effort to provide five market-rate residential units, and the construction of a new third floor for the purposes of providing five additional market-rate residential units.

At the December 9 meeting, members of the HDC expressed a desire to see a more detailed set of plans for the proposed project, particularly with regard to addressing the material composition and functionality of the windows on both the second and third floors.

Attached to this memo is an updated plan set submitted by the applicant, with additional information provided regarding the second and third floor window finishes, as well as detailed elevations and front and rear wall sections of the proposed project. Also attached to this memo is the original staff report presented to the commission at the December 9, 2024 regular meeting.

Given the feedback and requests provided by commissioners at the December 9, 2024 meeting, staff presents this updated set of plans from the applicant for the HDC's consideration. Attached to this memo is a copy of the original staff report from the December 9 meeting, which describes in greater detail the project in its totality, as well as an analysis of the standards of Chapter 1470 and Secretary of the Interior's Standards for Rehabilitation as they pertain to the proposed project.

Recommendation

Consistent with the December 9 staff report, provided that the newly proposed window details satisfy members of the commission, staff recommends approval of a Certificate of Appropriateness for the proposed restoration work at 99 W Michigan Ave.

Support Material

December 9, 2024 staff report

Updated building plans



City of Battle Creek

Department of Planning and Community Development
 10 N. Division Street, Ste. 117 • Battle Creek, Michigan 49014
 Phone: (269) 966-3320 • www.battlecreekmi.gov

HISTORIC DISTRICT COMMISSION

Application for (check all that applies)

Certificate of Appropriateness (for repairs or rehab projects)
 Notice to Proceed (for demolition requests)

Petition No. _____

Date Received: _____

APPLICANT**

NAME: Cody Newman

ADDRESS: 117 West Michigan Avenue, Battle Creek, MI

PHONE: (269) 753-8040 FAX: N/A

EMAIL: Cody@drivendesignstudio.com

OWNER (if different from applicant)

NAME: Battle Creek Unlimited

ADDRESS: 4950 W Dickman Rd Suite 1, Battle Creek, MI

PHONE: (269) 962-7526 FAX: _____

EMAIL: hughes@bcunlimited.org

****If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.**

SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 99 W Michigan Avenue

Current use of the property: Vacant

List existing structures on the property and the approximate age of each. _____

1920's

Please list all activities/proposed work for the property area and how the proposed work relates to the building as a whole.

The existing basement is being renovated into a "speakeasy" bar and entertainment. The existing first floor is to be renovated into a restaurant. The front and rear facade is to remain as is for this floor. The second floor is being added back to the building. This is to become residential units. The front facade is to be used as is and a rear brick facade is being added. A third story is being added to the building with a rooftop deck. This story is to be constructed of masonry on the front, side and rear facades.

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application.

A second story is being added back to the building and a third story is being added above it for additional residential units. The new is to be designed to be brick.

Does the work proposed include maintenance/repair of existing features of the structure, or will it create new features that do not currently exist?

There will be minor repairs to the existing masonry facade, mostly tuckpointing.
The major addition is the upper two levels mentioned above.

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application.

	Existing Materials	Proposed Materials (if applicable)
Roof	TPO	TPO - No change
Windows	Storefront	Storefront - No change
Siding	Masonry	Masonry - Existing and New
Foundation	Concrete	Concrete - No change
Other		

For Notice To Proceed requests only:

What options have you explored for the repair or relocation of the structure proposed for demolition?

N/A

SUBMITTAL REQUIREMENTS

As outlined in "HDC, Information and Procedure", each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application; incomplete applications will not be forwarded to the Historic District Commission.

APPLICANT SIGNATURE

By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined therein.

Cody No
Name

11/21/2024

Date



Battle Creek Historic District Commission

Staff Report

99 W Michigan Ave

Meeting: December 9, 2024

To: Historic District Commission

From: CJ Sivak-Schwennesen

Date: November 27, 2024

Subject: The petition, filed by Cody Newman (Driven Design Studio) on behalf of Battle Creek Unlimited, to renovate the existing structure, adding back the second floor of the structure, and adding a third story façade with rooftop deck.

Summary

Staff recommends approval of the subject petition at 99 W Michigan Ave (Parcel #: 0253-00-044-0), as the renovation of the subject structure and addition of a functional second and third story meets the standards outlined in Chapter 1470.09 “Review of Applications”, Chapter 1470.17 “Preservation of Historic Features”, and the Secretary of the Interior’s Standards and Guidelines.

Site & History

The subject site is located at 99 W Michigan Ave (Parcel #: 0253-00-044-0), between Carlyle St and Jackson St W, within the Central Business District local historic district. The Central Business District includes the 19th century commercial buildings, churches, and early 20th century public buildings located in the heart of the City. The subject site is not independently registered in the National Register of Historic Places, as verified by staff on November 22, 2024.

The subject site is currently vacant commercial space. The site is listed as a 5,610 sq. ft. retail structure constructed in 1906. The site has been the subject of two prior applications for Certificates of Approval. In 2004, a request was approved for the rehab of the windows, doors, stairs, handrails, and paint, as well as the installation of a new sign. In 2020, a Minor Class of Work was approved to white box the building and conduct exterior updates.

Figure 1 provides an aerial view of the subject site. Figure 2 provides street level views of the subject site.



Figure 1: Magenta pin on aerial points to subject site (99 W Michigan Ave). The thick teal outline shows the boundary of the subject parcel. Photo courtesy of Nearmap.



Figure 2: Street view of the subject structure at 99 W Michigan Ave, November 2024. Photo courtesy of City of Battle Creek staff.

Summary of Request

The applicant has filed the subject HDC Certificate of Appropriateness application for the renovation of the subject site. The first floor primarily has interior renovations, which are not the purview of the Historic District Commission, and the first floor façade will be remaining as is. The second floor was destroyed by a fire sometime in the 1940's, and while the exterior façade remains, no functional second floor within the current building exists. The applicant is proposing the replacement of the functional second floor of the building with a masonry façade on the front and rear of the building. A third floor is being added, which will include additional residential units. The rooftop of the building will be accessible as a deck, with a masonry façade on the front, sides, and rear of the building. As part of the renovations, there will be minor repairs to the existing masonry façade, mostly tuck-pointing, which is removing old mortar from joints and replacing it with new mortar that matches the existing mortar.

Applicable HDC Guidelines and Analysis for a Certificate of Appropriateness for Building Renovations and Additions at 99 W Michigan Ave.

This property is reviewed in accordance with City of Battle Creek Building and Housing Code Chapter 1470 "Historic Preservation", as amended, the Michigan Local Historic Districts Act, as amended, and

the criteria for the National Register of Historic Places as outlined in the Secretary of the Interior's Standards and Guidelines.

Specifically, the Commission shall follow Section 1470.09 *Review of Applications*, as follows:

(b) The Commission shall also consider all of the following:

- (1) The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.**
- (2) The relationship of any architectural features of the resource to the rest of the resource and the surrounding area.**
- (3) The general compatibility of the design, arrangement, texture, and materials proposed to be used.**
- (4) Other factors, such as aesthetic value that the Commission finds relevant.**

(c) The Historic District Commission shall review and act upon only exterior features of a resource and shall not review and act upon interior arrangements...

And

1470.17 PRESERVATION OF HISTORIC FEATURES.

- (a) Every reasonable effort shall be made to provide a compatible use for a resource which requires minimal alteration of the building, structure or site and its environment, or to use the resource for its originally intended purpose.**

Staff finds that the proposed additions to the building will restore the resource to its originally intended purpose. The structure, prior to the destruction and removal of the second story of 99 W Michigan, did have a functional second story. Given the long lifespan of the building, it is likely that the second floor was used as a residence at some point in its history. The existing first floor and basement are being renovated to continue their commercial use, further providing a compatible use for the resource.

The proposed scope of work also includes the addition of a third floor. This is completely new to the subject site; however, additional residential units would be compatible with the second floor residences, as well as the first floor commercial use. All three floors are permitted uses in a downtown building, especially with the City's need for housing diversity. The building will remain within the expected scale for the downtown skyline, which has other buildings with three stories, including 17 W Michigan, 49 W Michigan, 26 W Michigan, and 121 W Michigan. Many of these structures are adjacent to two-story buildings or other shorter buildings, which provide visual interest to the skyline and do not appear out of place. The new third floor will also have minimal visual alteration to the

façade of the building, as it is proposed to be constructed of masonry that is compatible with the façade of the reconstructed second story masonry.

The Commission may find this standard to be met.

- (b) *The distinguishing original qualities or character of a resource and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.*

Staff finds that the proposed scope of work does not involve the destruction or removal of any historic material. The existing masonry façade on the second story is being reconstructed to accommodate the floor behind it being enclosed, with the design currently on the building being recreated in the provided reference renderings. The first floor façade is being left as is.

Staff believes that adding a third story to the building would not destroy the original quality of the resource at 99 W Michigan. A three-story building would not be out of character for the district, as other similarly styled buildings are currently located in the Central Business District local historic district. The design of the third story does not seek to replicate any of the existing buildings, rather using a unique design for its masonry that matches the masonry and limestone materials already present in the downtown.

The Commission may find this standard to be met.

- (c) *All resources shall be recognized as products of their own time. Alterations that have no historic basis and which seek to create an earlier appearance shall be discouraged.*

The subject structure originally had a functional second story that was destroyed due to fire. Adding back a functional second story does not seek to create an earlier appearance to the building than is appropriate. Adding a functional third story also does not seek to create an earlier appearance to the building, rather expanding the use within the aesthetic style existing at the subject site and in the Central Business District as a whole.

The Commission may find this standard to be met.

- (d) *Changes which may have taken place in the course of time are evidence of the history and development of a resource and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.*

The destruction of the functionality of the second story by fire may be viewed as a significant event in the building's history. However, the proposed restoration of the second story (and its full enclosure) would return the building to its original form for a permitted residential use. Additionally, the existing masonry of the second story façade facing W Michigan Ave. will remain intact, requiring only

minor repairs and tuckpointing. The proposed addition of a third story to the building offers a visually distinctive façade from the existing stories while remaining consistent with the existing mass and scaling of a number of surrounding structures in the vicinity. The addition of a third story to the building is not anticipated to negatively impact the existing second story façade which fronts onto W Michigan Ave.

The Commission may find this standard to be met.

(e) Distinctive stylistic features or examples of skilled craftsmanship which characterize a resource shall be treated with sensitivity.

The existing masonry on the second story façade is considered to be a distinctive stylistic feature of the subject site, as it is unique in its design to the site when compared to other masonry-clad buildings in the Central Business District. Its recreation on the functional second story treats the feature with sensitivity by preserving the visual appearance.

The Commission may find this standard to be met.

(f) Deteriorated architectural features shall be repaired rather than replaced wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other resources.

The existing masonry is noted to have minor repairs being done to it, mostly tuckpointing. The addition of new masonry to construct the second and third floors does not replace any notable historic features, as it is undecorated masonry that will match the front masonry façade.

The Commission may find this standard to be met.

(g) The surface cleaning of resources shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic materials shall not be undertaken.

There is likely to be surface cleaning of the existing masonry as part of its minor repairs. The processes to be used are not detailed in the provided plan. As such, staff recommends that as a condition of approval that sandblasting and other cleaning methods that will damage the existing masonry shall not be undertaken.

The Commission may find this standard to be met.

(h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

Since the basement of the structure is a key aspect of the renovation, groundwork is expected as part of this project. As such, staff recommends that as a condition of approval that if any archeological resources are discovered, that the applicant contact the City of Battle Creek.

The Commission may find this standard to be met.

- (i) *Contemporary design for alterations and additions to existing resources shall not be discouraged when such alterations and additions do not destroy significant historic, architectural or cultural material and when such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.*

The third floor masonry can be considered contemporary design, as it is not based on late 19th or early 20th century masonry. The addition does not destroy any significant historic, architectural, or cultural material, as staff have determined that the two-story height not to be a significant feature of the subject site. The proposed design is compatible with the neighborhood, as masonry and limestone are design elements located elsewhere in the district. Additionally, the proposed third-story masonry aesthetic is unique to the building, providing distinctness to the contemporary addition of the third floor, which sets it apart from the existing historic resource, while not attempting to create a false sense of time with regard to the third story addition. Since the design is compatible both with the subject site and with the surrounding local historic district, staff can recommend that this standard is met.

The Commission may find this standard to be met.

- (j) *Whenever possible, new additions or alterations to resources shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the resource would not be impaired.*

The addition of the functional third floor to the resource is visually distinct but compatible with the functional second floor, suggesting that it could be removed without damaging the integrity and form of the original two-story site. It is likely other aspects of the building would need to be altered to ensure code compliance if the third floor were to be removed at a later date, but it would be possible.

The Commission may find this standard to be met.

Recommendation

The applicant's proposed renovation of the structure at 99 W Michigan, including the construction of functional second and third stories and minor renovations to the existing masonry, is an appropriate addition to the structure that is respectful of the existing features and adds onto the structure without attempting to create a false impression of the contemporary nature of the third story. The result is an aesthetically compatible structure that provides for it to continue its mixed commercial-residential use.

Therefore, planning staff recommends approval of a Certificate of Appropriateness for the renovation of the structure as detailed in this report and the subject application at 99 W Michigan Ave., as the request meets the standards outlined in Section 1470.09 “Review of Applications,” Section 1470.17 “Preservation of Historic Features” and the Secretary of the Interior’s Standards and Guidelines, as outlined in the staff report, with the following proposed conditions:

1. Surface cleaning of the resource shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic materials shall not be undertaken.
2. Any archeological resources discovered during the course of the proposed work shall be preserved and reported to the City of Battle Creek.

Support Material

Historic District Commission Application

Site Plan

New Exterior Additions to Historic Buildings: Preservation Concerns (NPS Brief)

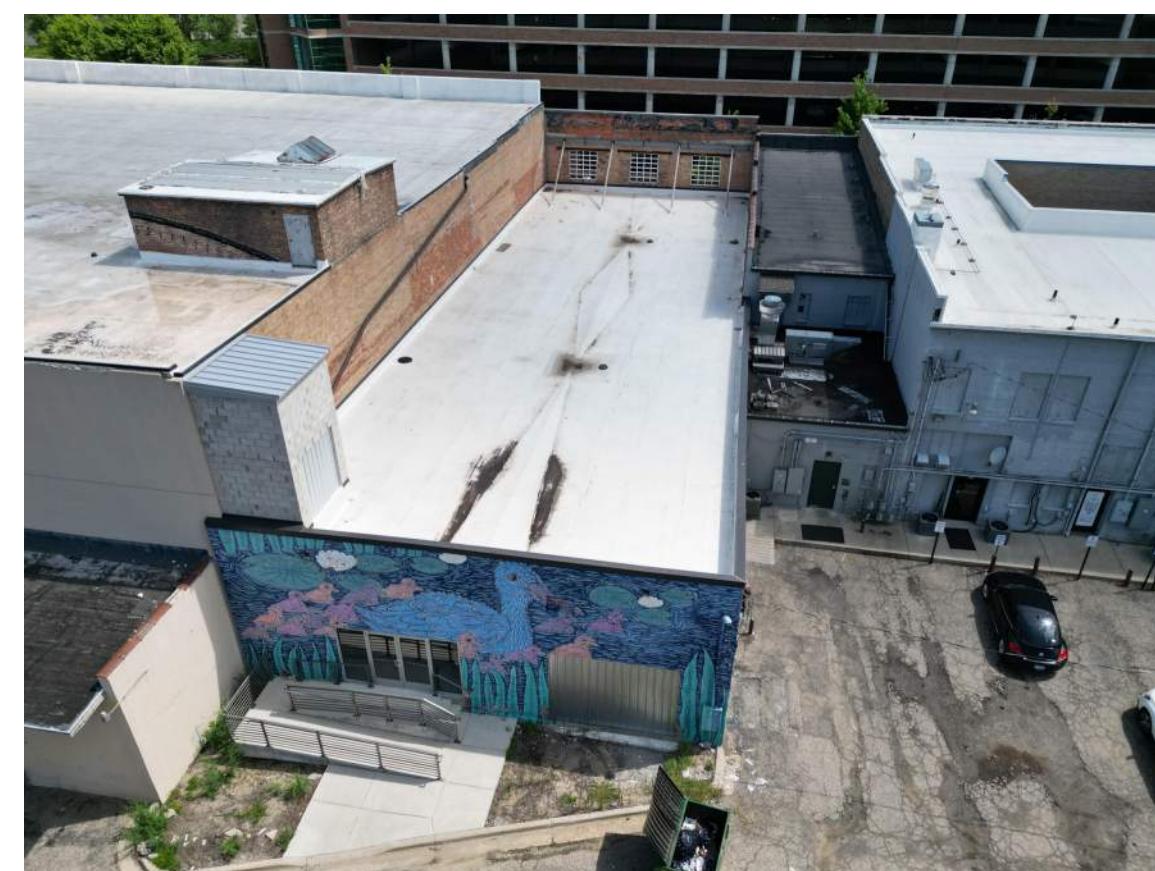
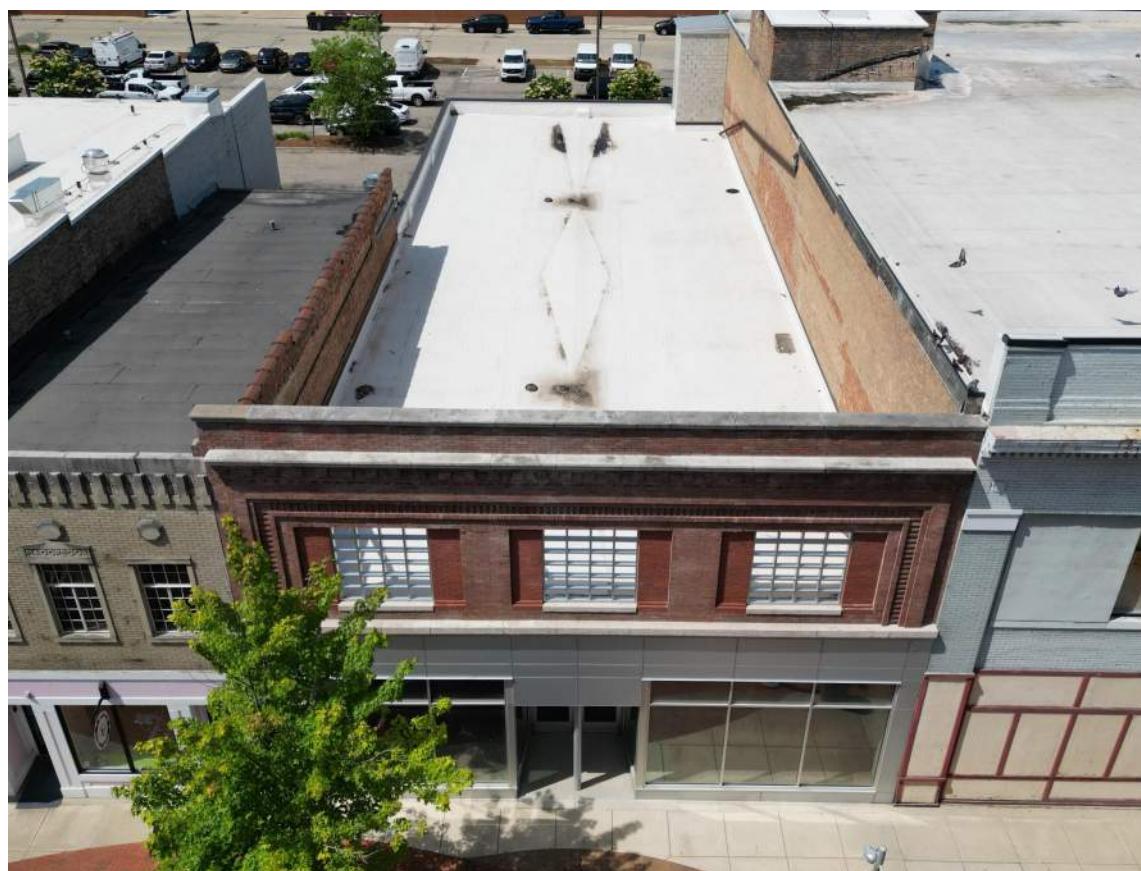
99 W. MICHIGAN

99 W. MICHIGAN AVE, BATTLE CREEK, MI 49017

RENDERING - FOR REFERENCE ONLY



EXISTING PHOTOS - FOR REFERENCE ONLY



HISTORIC IMAGE



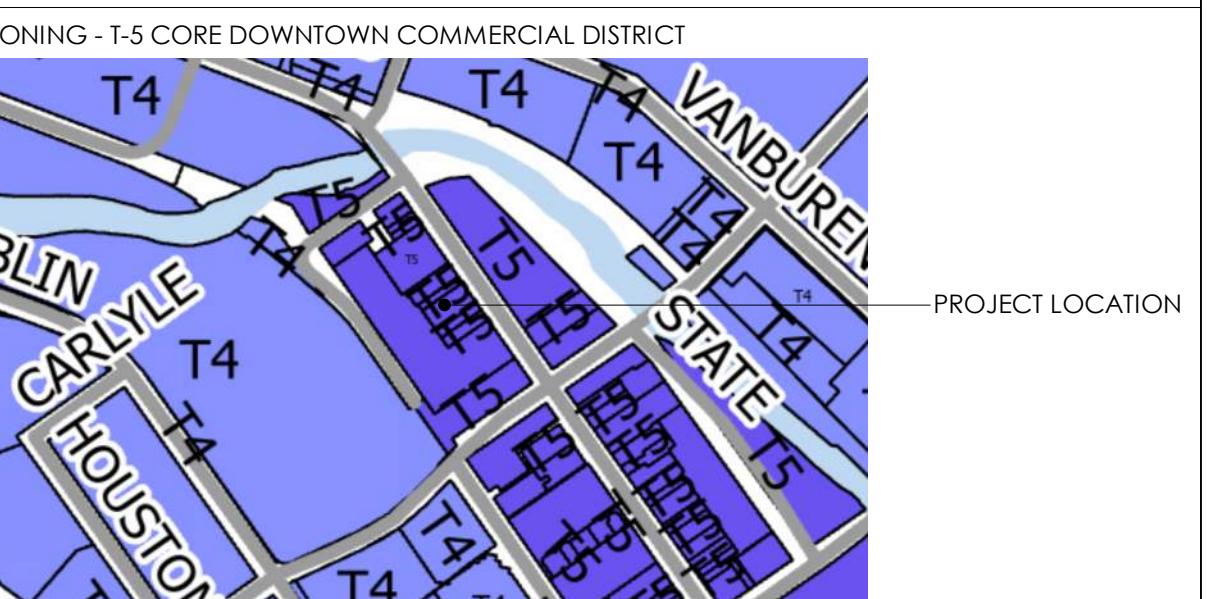
PROJECT NOTES

1. CONSTRUCTION MUST COMPLY WITH ALL NATIONAL, STATE, AND LOCAL BUILDING CODES, AS WELL AS ALL LOCAL ORDINANCES.
2. DO NOT SCALE DRAWINGS. NOMINAL DIMENSIONS ARE SHOWN. REFER TO DETAILS, NOTES, SPECIFICATIONS AND PARTITION KEY FOR INFORMATION. CONTACT ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.
3. EXISTING BUILDING AND SITE INFORMATION WAS OBTAINED FROM THE OWNER AND ADDITIONAL FIELD MEASUREMENTS BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. DRAWINGS MAY CONTAIN DISCREPANCIES DUE TO CONCEALED CONDITIONS, INACCURACIES IN THE ORIGINAL DRAWINGS, INACCESSIBLE LOCATIONS, UNRECORDED BUILDING ALTERATIONS AND OTHER CONFLICTING INFORMATION. INFORMATION OUTSIDE OF CONTRACT AREA IS RELATIVE AND FOR REFERENCE ONLY. ALWAYS VERIFY FIELD CONDITIONS BEFORE COMMENCING WORK. NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT SUBSTANTIALLY WITH PROPOSED WORK.
4. INSTRUCTIONS FOR BUILDING CONSTRUCTION MAY BE LOCATED IN ANY PART OF THE CONSTRUCTION DRAWINGS. FAILURE OF THE GENERAL CONTRACTOR OR HIS SUB CONTRACTORS AND SUPPLIERS TO SEE INFORMATION IN ANY PART OF THE CONTRACT DOCUMENTS WILL NOT BE A VALID REASON FOR ISSUING A CHANGE ORDER.
5. ALL HOLES CREATED FROM ABANDONED DUCT, CONDUIT, ELEC. DEVICES, ETC., WHICH ARE IN VIEW AND ARE NOT SCHEDULED TO BE BOARDED OVER, OR ON A WALL TO BE DEMOLISHED, ARE TO BE FILLED AND PATCHED TO MATCH EXISTING.
6. PATCH AND REPAIR ALL EXISTING WALL SURFACES ADJACENT TO NEW WORK AS REQUIRED TO ACHIEVE AN UNINTERRUPTED SURFACE APPEARANCE. PATCH AND REPAIR ALL FLOORING FOR EXISTING BUILDINGS TO ACHIEVE A CONTINUOUS, SMOOTH, AND FLUSH FLOOR SURFACE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED TO EXECUTE WORK. THE CONTRACTOR SHALL COORDINATE ALL TEMPORARY CONSTRUCTION WITH THE ARCHITECT AND OWNER TO ASSURE A MINIMUM AMOUNT OF INTERRUPTION WITH THE OWNER'S ACTIVITIES.
8. IF THE PROJECT IS A REMODEL, THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTOR'S TRAVEL SETUP AND/OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
9. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL LOCAL/REQUIRED PERMITS AND INSPECTIONS.
10. ALL SAFETY ISSUES RELATED TO CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
11. ALL WORK TO BE GUARANTEED A MINIMUM OF ONE YEAR FROM THE DATE OF OWNER ACCEPTANCE OF WORK, EXCEPT WHERE MANUFACTURER'S GUARANTEE IS LONGER.
12. IF DISCREPANCIES OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS CONTACT THE ARCHITECT TO VERIFY HOW TO PROCEED BEFORE DOING SO.
13. SEE T001 FOR ADDITIONAL PROJECT NOTES, MOUNTING HEIGHTS, AND SYMBOLS
14. 3D VIEWS AND RENDERINGS ON THIS PAGE AND THROUGHOUT THE SET ARE FOR REFERENCE ONLY. VERIFY ALL CONSTRUCTION DETAILS THROUGHOUT THE ENTIRE SET OF DOCUMENTS
15. THE PROJECT SHALL CONFORM TO UNDERWRITERS LABORATORY FIRE RESISTANCE DIRECTORY AND BUILDING MATERIALS DIRECTORY.
16. ANY MATERIAL SUBSTITUTIONS TO A LISTED UL DESIGN NUMBER SHALL BE COORDINATED BY THE CONSTRUCTION MANAGER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL SUPPLIER FOR COMPLIANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPROVALS - FOR ANY MATERIALS SUBSTITUTION IN THE REQUIRED UL DESIGN ASSEMBLY - BY THE FIRE MARSHAL AND BUILDING INSPECTOR HAVING JURISDICTION PRIOR TO ACCEPTANCE.
17. FOR ANY CHANGE OF UL DESIGN NUMBER, OR ANY CHANGE IN MATERIAL(S) IN A UL DESIGN ASSEMBLY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL OTHER RELATED MATERIALS OR ASSEMBLIES AFFECTED BY THE CHANGE OF MATERIAL OR UL DESIGN NUMBER ASSEMBLY.
18. PROVIDE COMPLETE UL APPROVED THROUGH-PENETRATION FIRESTOP SYSTEMS AT ALL RATED WALL PENETRATIONS.
19. PROVIDE FIRESTOPPING AS REQUIRED AT ALL OPENINGS FOR PLUMBING, CONDUIT, DUCTWORK, ETC AT FIRE RATED ASSEMBLIES.
20. REFER TO THE FLOOR PLANS FOR IDENTIFICATION OF ALL FIRE AND SMOKE-RATED PARTITIONS.

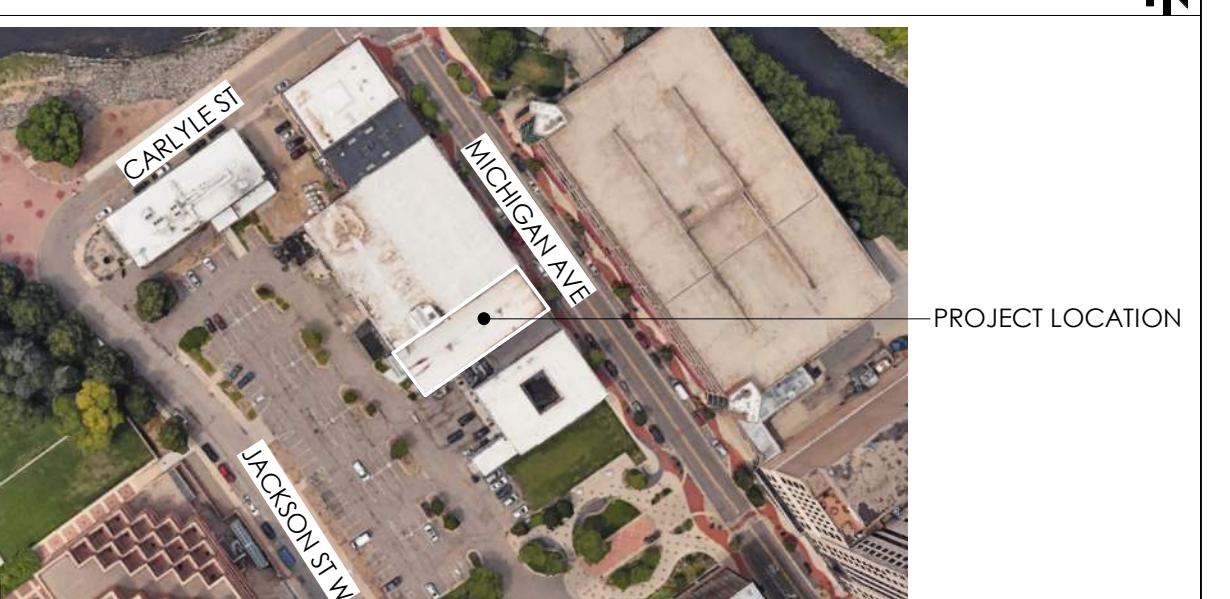
PROJECT DESCRIPTION

CONVERTING A EMPTY DOWNTOWN BUILDING INTO A RESTAURANT WITH APARTMENTS ABOVE.

ZONING MAP



CONTEXT MAP



DRAWING LIST

SHEET NUMBER	DRAWING TITLE	12/27/2024 - HOC SET
--------------	---------------	----------------------

00 GENERAL		
T000	TITLE SHEET	X
T001	RENDERINGS	X
T002	GENERAL MOUNTING HEIGHTS + ABBREVIATIONS	X
T003	PLUMBING MOUNTING HEIGHTS	X
T004	CODE COMPLIANCE - REHAB CODE	X
T005	CODE COMPLIANCE	X
T006	CODE COMPLIANCE	X
T007	AREA PLANS	X
T008	AREA PLANS	X

01 CIVIL		
C100	ARCHITECTURAL SITE PLAN	X

03 ARCHITECTURAL		
A000	EXISTING FLOOR PLANS	X
A110	DEMOLITION PLANS	X
A121	NEW FLOOR PLANS	X
A122	NEW FLOOR PLANS	X
A410	WINDOW SCHEDULE AND DETAILS	X
A500	EXTERIOR ELEVATIONS	X
A600	BUILDING SECTIONS	X

Grand total: 17

DRIVEN DESIGN

ARCHITECTURE/INTERIOR DESIGN
Driven Design Studio PLLC
117 West Michigan Avenue
Battle Creek, MI 49017
(269) 753-8040
cody@drivendesignstudio.com

OWNER
Norman Holdings LLC
99 W. Michigan Avenue
Battle Creek, MI

CONSTRUCTION MANAGER/GC

ENGINEER
Ignyte Design
38 Commerce Street
Grand Rapids, MI

ENGINEER
ENGINEER

THIS DOCUMENT IS THE EXCLUSIVE PROPERTY OF DRIVEN DESIGN. THE DOCUMENT & THE INFORMATION IT CONTAINS MAY NOT BE REPRODUCED OR USED FOR OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF DRIVEN DESIGN.

NOT FOR CONSTRUCTION

PROJECT NAME
99 W. MICHIGAN
PROJECT ADDRESS
99 W. MICHIGAN AVE, BATTLE CREEK, MI 49017

ISSUE
SCHEMATIC DESIGN

DRAWN BY CMN
DATE 1/7/2025 6:22:25 AM
SCALE
STAMP

PROJECT NUMBER
2024.095

TITLE SHEET

T000



RENDERS - FOR REFERENCE ONLY



NOT FOR CONSTRUCTION

PROJECT NAME
 99 W. MICHIGAN
 PROJECT ADDRESS
 99 W. MICHIGAN AVE, BATTLE CREEK, MI
 49017

ISSUE
 SCHEMATIC DESIGN

DRAWN BY CMN
 DATE 1/7/2025 6:22:25 AM
 SCALE
 STAMP

PROJECT NUMBER
 2024.095
 RENDERINGS

T001

RENDERS - FOR REFERENCE ONLY

ABBREVIATION LIST

A/C	AIR CONDITIONING
A/V	AUDIO/VISUAL
ACP	ACOUSTICAL CEILING PANEL
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATELY
ARCH	ARCHITECT(URAL,URE)
ASSOC	ASSOCIATED
AUTO	AUTOMATIC
AWP	ACOUSTICAL WALL PANEL
BD	BOARD
BF	BARRIER FREE
BIT	BITUMINOUS, BITUMEN
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
CAB	CABINET
CJ	CONTROL JOINT
CLG	CEILING
CLR	CLEAR(ANCE)
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COM	COMMUNICATIONS
CONC	CONCRETE
CONFIG	CONFIGURATION
CONST	CONSTRUCTION
CONT	CONTINUOUS
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
DEG	DEGREE
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVISION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DWG(S)	DRAWING(S)
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
ENCL	ENCLOS(E,URE)
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE(D)
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FACE
FGL	FIBERGLASS
FHC	FIRE HOSE CABINET
FIXT	FIXTURE
FL	FLOOR(ING)
FLUOR	FLUORESCENT
FOC	FACE OF CONCRETE
FOS	FACE OF STUDS
FP	FIREPROOF(ING)
FT	FEET
FIG	FOOTING
FUR	FURR(ED,ING)
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACT(OR)
GL	GLASS, GLAZING
GOVT	GOVERNMENT
GT	GROUT
GYP BD	GYPSUM WALLBOARD
HC	HOLLOW CORE
HDR	HEADER
HDWD	HARDWOOD
HDWR	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HC	HOLLOW CORE
HRD	HEADER
HDWD	HARDWOOD
HDWR	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
ID	INSIDE DIAMETER
IN	INCH(E,S)
INCAN	INCANDESCENT
INCL	INCLUDE(D,ING)
INSUL	INSULATION, INSULATED
INT	INTERIOR
JAN	JANITOR
JT(S)	JOINT(S)
KIT	KITCHEN
LAM	LAMINATE(D)
LAV	LAVATORY
LBL	LABEL
LH	LEFT HAND
LL	LIVE LOAD
LP	LOW POINT
LIG	LIGHTING
LIT	LINTEL
MANF	MANUFACTURE(R)
MAS	MASONRY
MATL	MATERIAL(S)
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNDED
MTG	MOUNTING
MTL	METAL
#	NUMBER
&	AND
+	EXIST (OR APPROX) DIM - VIF
CL	CENTER LINE
L	ANGLE
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
OPP HD	OPPOSITE HAND
PART	PARTITION
PC	PRECAST
PERF	PERFORATE(D)
PL	PLATE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLWD	PLYWOOD
PNL	PANEL(ED)
PR	PAIR
PREP	PREPARE (SURFACE)
PROV	PROVIDE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PAINT
PVMT	PAVEMENT
QTY	QUANTITY
R	RISER
RAD	RADIUS
RB	RUBBER BASE
REF	REFRIGERATOR
REINF	REINFORCED
REQD / REQ'D	REQUIRED
RES	RESILIENT
RET	RETAINING
REV	REVISION(S) / REVISE(D)
RFG	ROOFING
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
S	SOUTH
SC	SOLID CORE
SCHED	SCHEDULE
SECT	SECTION
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC(S)	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STN	STAIN
STO	STORAGE
STRUC	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
SYST	SYSTEM
T	TREAD
T&G	TONGUE AND GROOVE
T.O.	TOP OF
TECH	TECHNOLOGY
TEL	TELEPHONE
TEMP	TEMPERED
THK	THICKNESS)
4"	4"
6' - 0"	6' - 0"
3' - 4"	3' - 4"
1' - 0"	1' - 0"
1' - 6"	1' - 6"
60° MIN.	60° MIN.
60° MAX.	60° MAX.
4' - 0" MAX	4' - 0" MAX
34" TO WORK SURFACE	34" TO WORK SURFACE
1' - 0" MAX	1' - 0" MAX
1' - 6" MIN	1' - 6" MIN
POST-MOUNTED PARKING SIGNS	POST-MOUNTED PARKING SIGNS
WALL-MOUNTED PARKING SIGN	WALL-MOUNTED PARKING SIGN

ABBREVIATION LIST

THRESH	THRESHOLD
TOC	TOP OF CURB
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TRANS	TRANSPARENT
TV	TELEVISION
TYP	TYPICAL
UL	UNDERWRITER'S LABORATORY
UNFIN	UNFINISHED
UNO	UNLESS OTHERWISE NOTED
VAR	VARIES
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VU	VENTILATION UNIT
VWC	VINYL WALLCOVERING
W	WATER RESISTANT
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WH	WALL HUNG
WP	WORK POINT
WR	PAINTED)
WT	WEIGHT
WWF	WELDED WIRE FABRIC

ABBREVIATION LIST

Room name	101	Room number
FINISH TYPE		FINISH TYPE
1 HOUR PARTITION	11	DOOR NUMBER
2 HOUR PARTITION	11	WALL TYPES
3 HOUR PARTITION	11	WINDOW NUMBER
ELEMENTS TO BE REMOVED		EXISTING ELEVATION
EXTENT OF WORK		NEW ELEVATION
CMU		BATT INSULATION
CONCRETE		COLUMN CENTER LINE / IDENTIFIER
WOOD BLOCKING		REVISION INDICATION
STEEL (LARGE SCALE)		
GYPSUM BOARD/PLASTER		
RIGID INSULATION		
PLYWOOD		
MILLWORK		

DIMENSIONING KEY

DIMENSIONING SYSTEM (UNLESS NOTED OTHERWISE)

MATERIAL DESIGNATIONS & SYMBOLS

DETAIL / PLAN / ELEVATION

DRIVEN DESIGN

ARCHITECTURE/INTERIOR DESIGN

OWNER

CONSTRUCTION MANAGER/GC

ENGINEER

ENGINEER

GENERAL NOTES

REQUIRED CLEARANCES

REQUIRED PUSH/PULL CLEARANCES

MOUNTING HEIGHTS

MOUNTING HEIGHTS

RAILING DETAILS

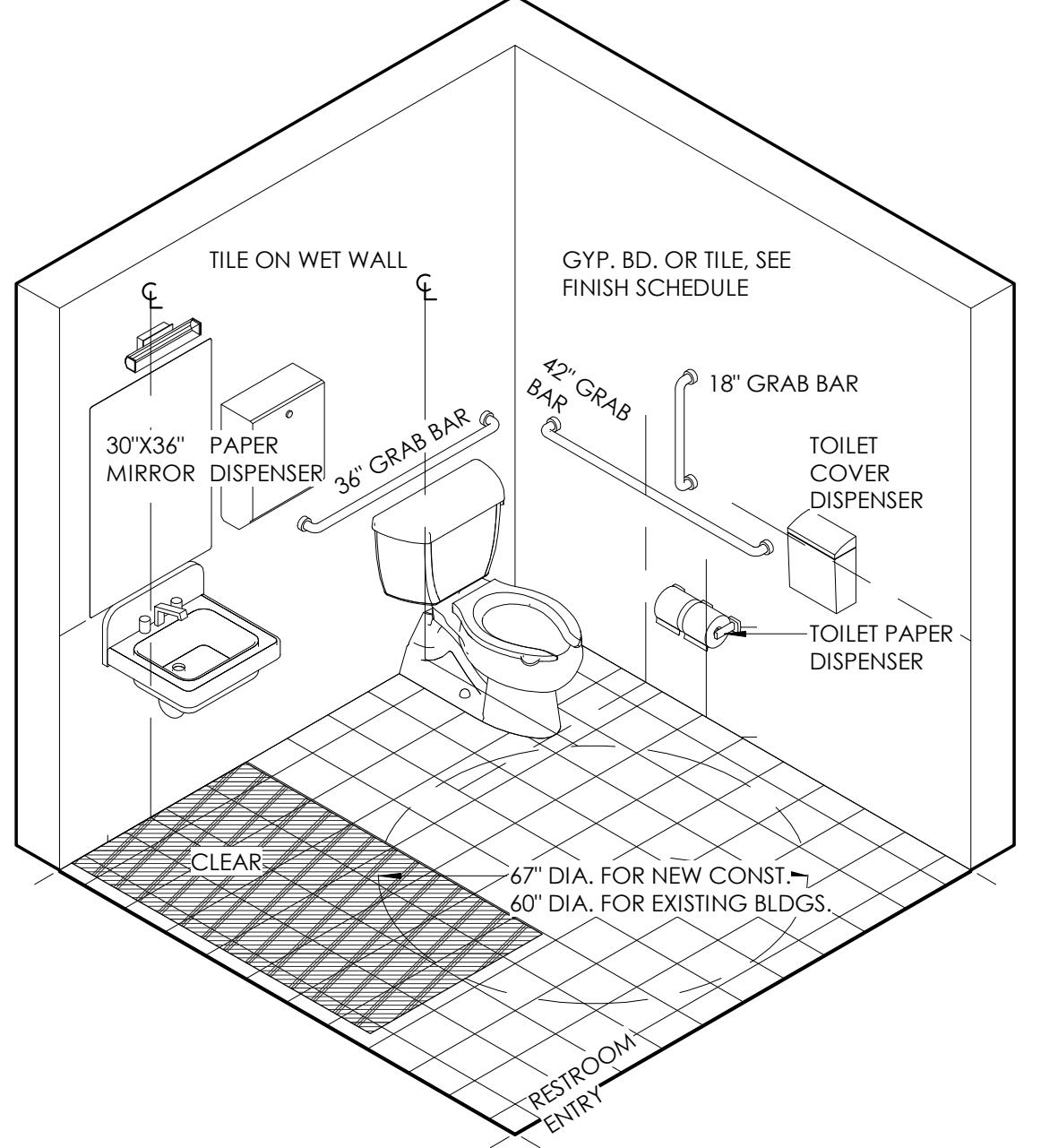
THIS DOCUMENT IS THE EXCLUSIVE PROPERTY OF DRIVEN DESIGN. THE DOCUMENT & THE INFORMATION IT CONTAINS MAY NOT BE REPRODUCED OR USED FOR OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF DRIVEN DESIGN.

PROJECT NAME: 99 W. MICHIGAN
PROJECT ADDRESS: 99 W. MICHIGAN AVE, BATTLE CREEK, MI 49017
ISSUE: SCHEMATIC DESIGN

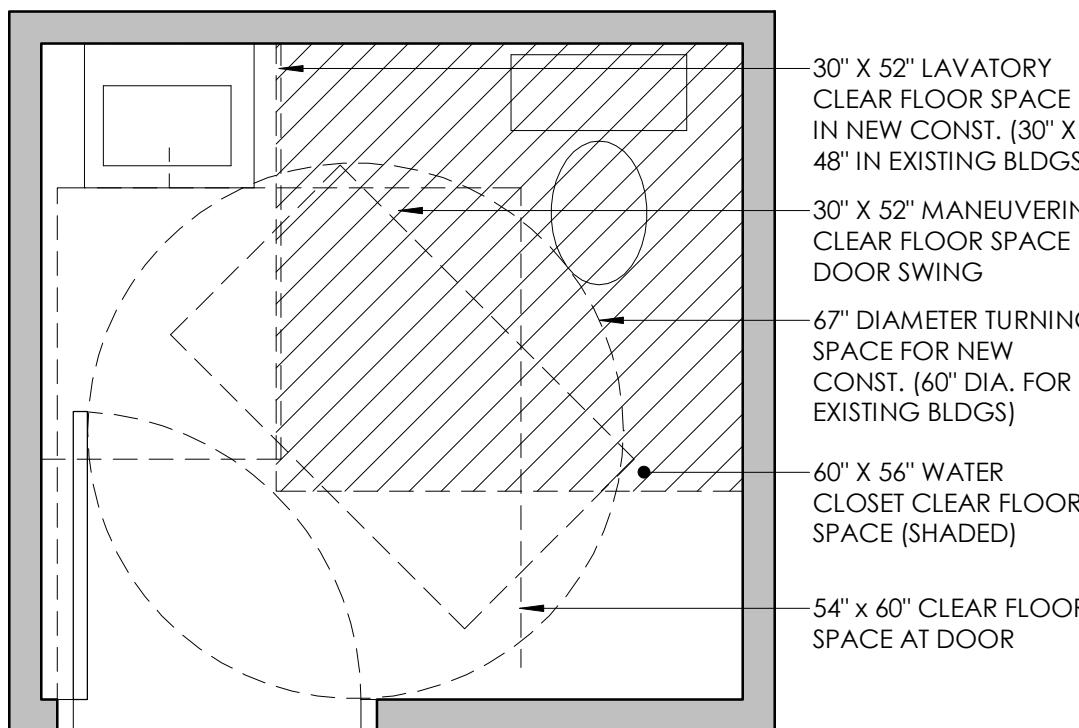
DRAWN BY: CMN
DATE: 1/7/2025 6:22:26 AM
SCALE: As indicated
STAMP

PROJECT NUMBER: 2024.095
GENERAL MOUNTING HEIGHTS + ABBREVIATIONS
TO02

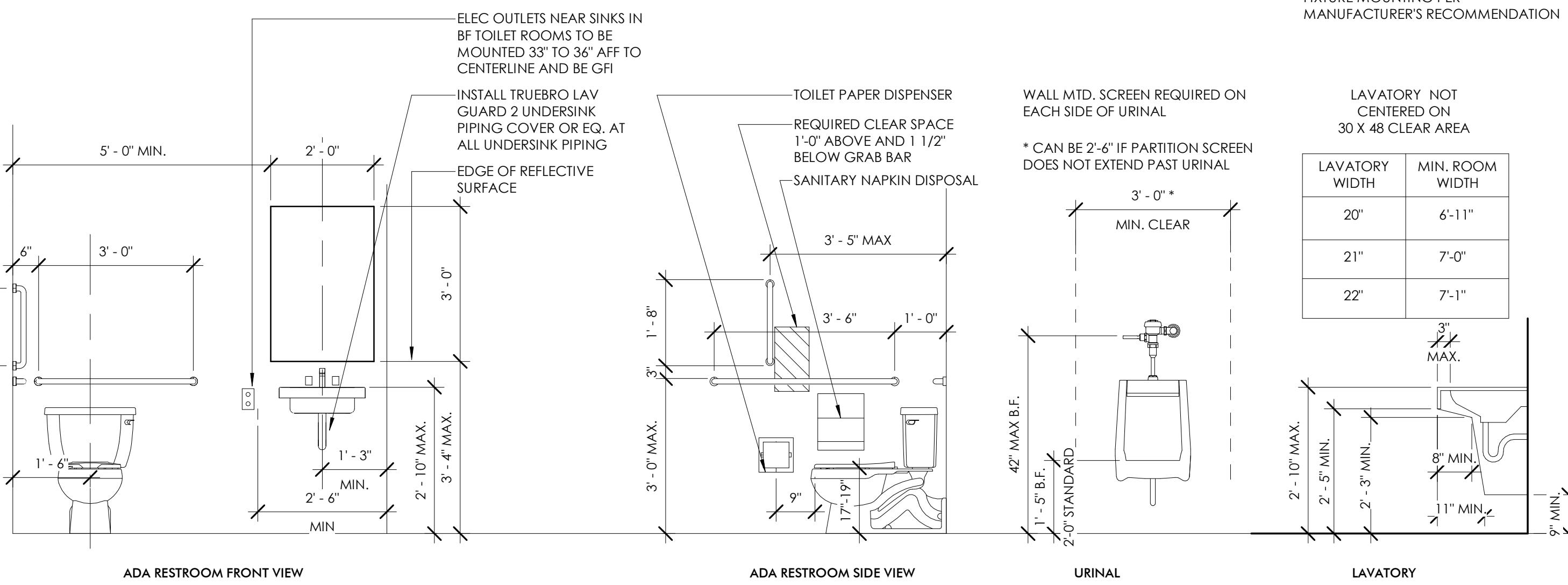
*NOTE: PROVIDE BLOCKING AS REQUIRED FOR ALL GRAB BARS AND FIXTURE MOUNTING PER MANUFACTURER'S RECOMMENDATION



ADA RESTROOM AXON - NTS



ADA RESTROOM PLAN - NTS

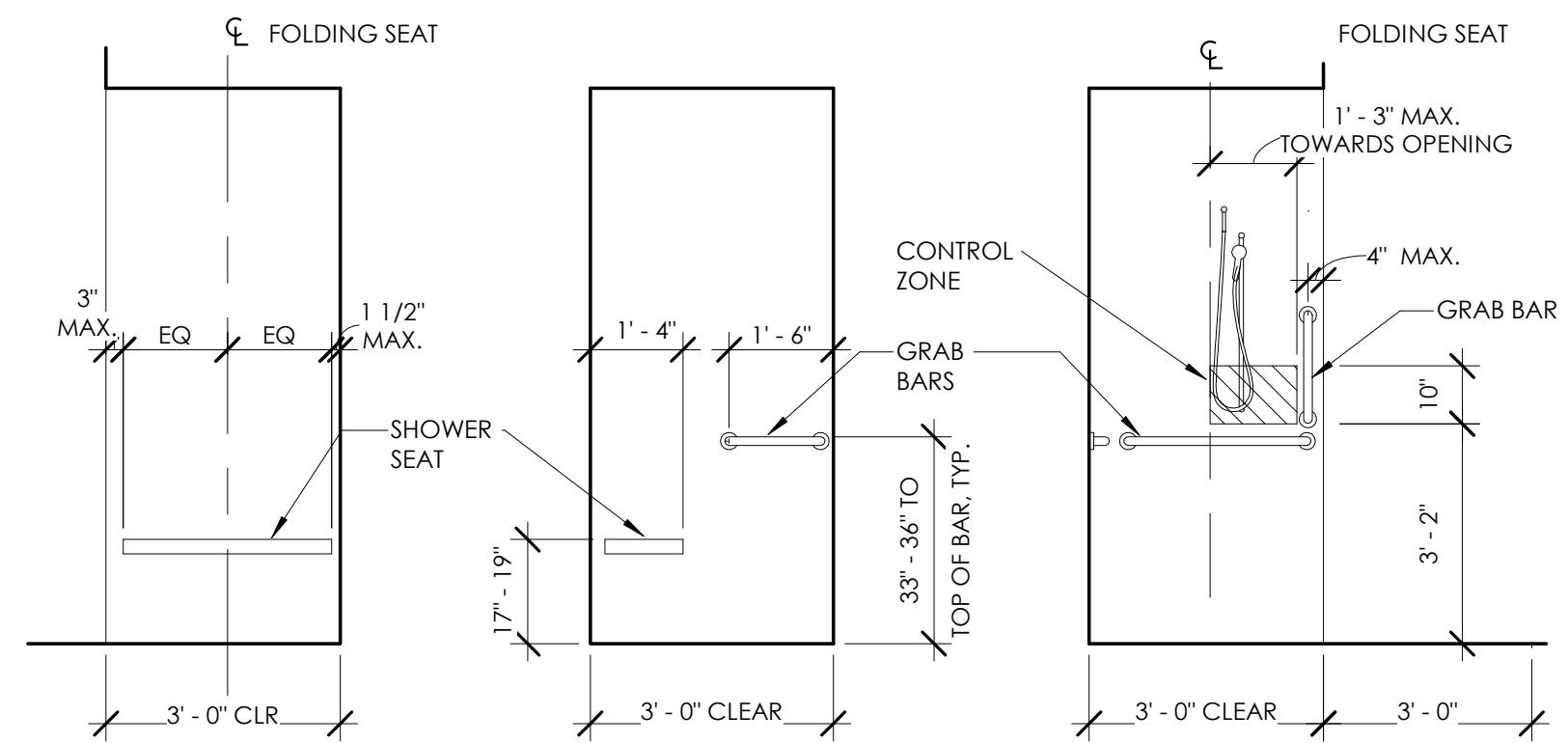


RESTROOM DETAILS - NTS

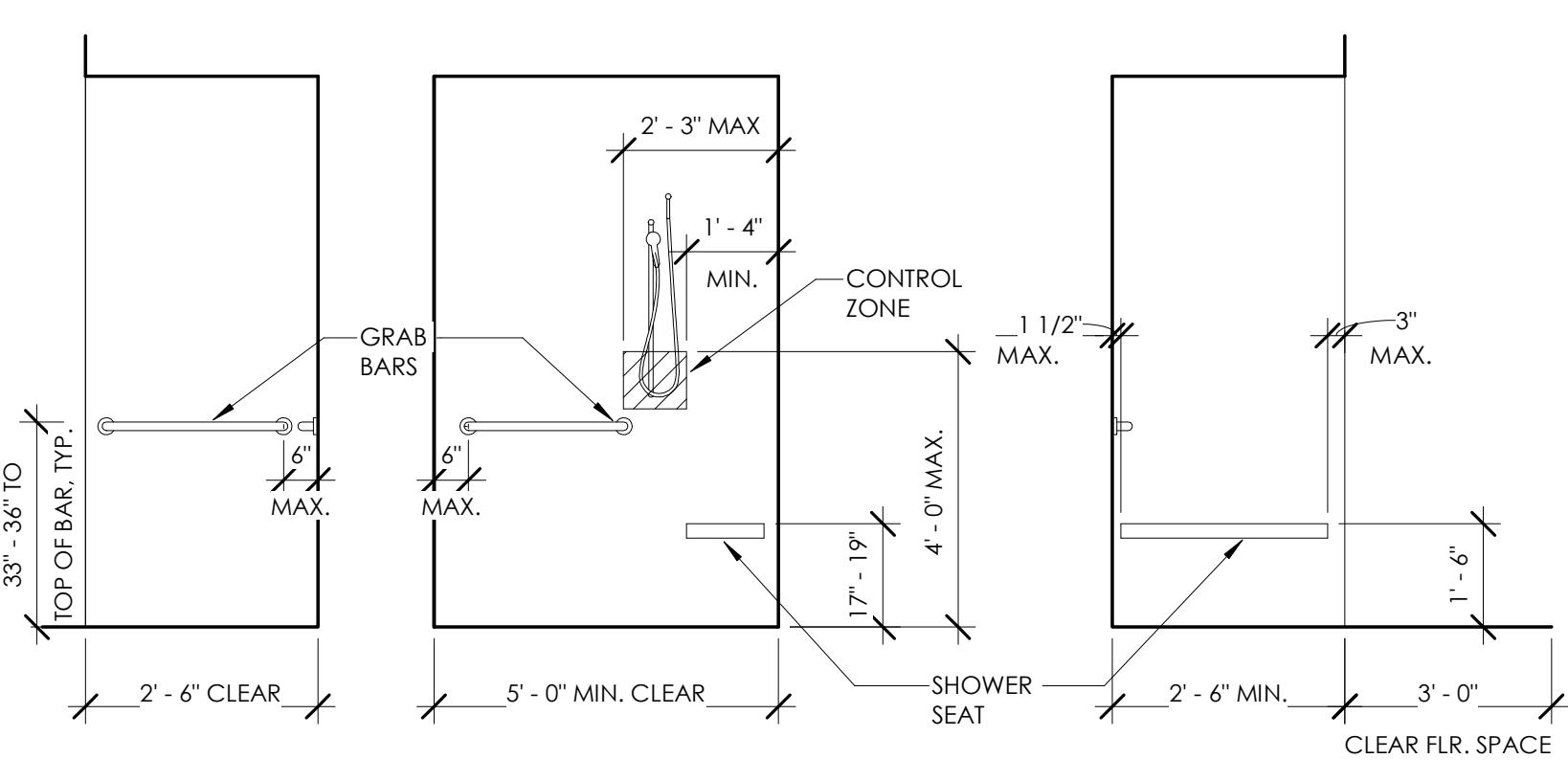
THIS DOCUMENT IS THE EXCLUSIVE PROPERTY OF DRIVEN DESIGN. THE DOCUMENT & THE INFORMATION IT CONTAINS MAY NOT BE REPRODUCED OR USED FOR OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF DRIVEN DESIGN.

ACCESSORIES SCHEDULE				
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
BCT-1	BABY CHANGING TABLE	BOBRICK - KOALAKARE	KB310-SSWM	
GB-1	18" VERTICAL GRAB BAR	BRADLEY CORP.	812-001-18	
GB-2	36" GRAB BAR	BRADLEY CORP.	812-001-36	
GB-3	42" GRAB BAR	BRADLEY CORP.	812-001-42	
MI-1	MIRROR	BOBRICK	B-1556	
MI-2	MIRROR	BOBRICK	B-169	LED LIGHT INCLUDED IN MIRROR
MI-3	MIRROR	PRECISION FRAMEWORKS	241W	FRAMED MIRROR (RESIDENTIAL)
PTD-1	PAPERTOWEL DISPENSER	BOBRICK	B-3979	COMBO WITH ROLL PAPERTOWEL
PTD-2	PAPERTOWEL DISPENSER	BOBRICK	3944-152	SINGLE WITH C-FOLD PAPERTOWEL
SD-1	SOAP DISPENSER	TORK	466000	
SND-1	SANITARY NAPKIN DISPOSAL	BOBRICK	B-254	
TPD-1	TOILET PAPER DISPENSER	BOBRICK	B-2840	

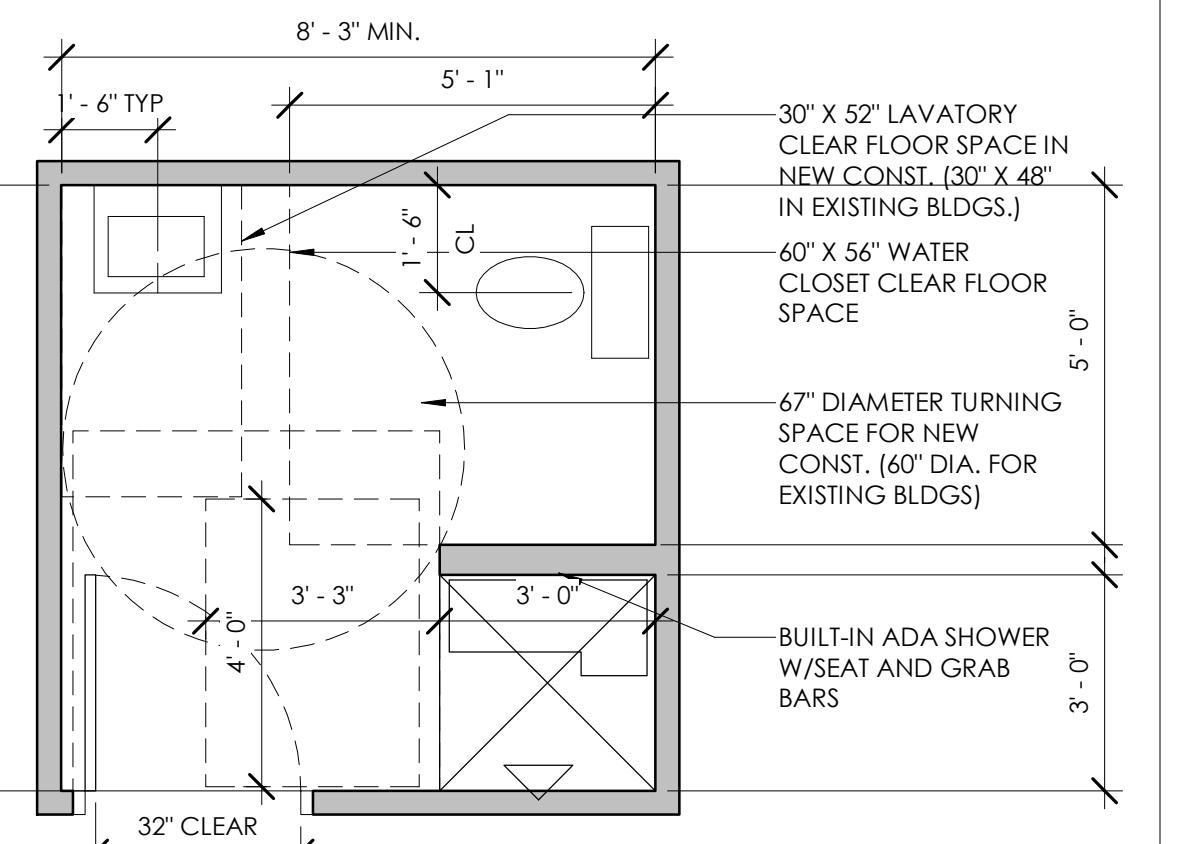
SHOWER DETAILS



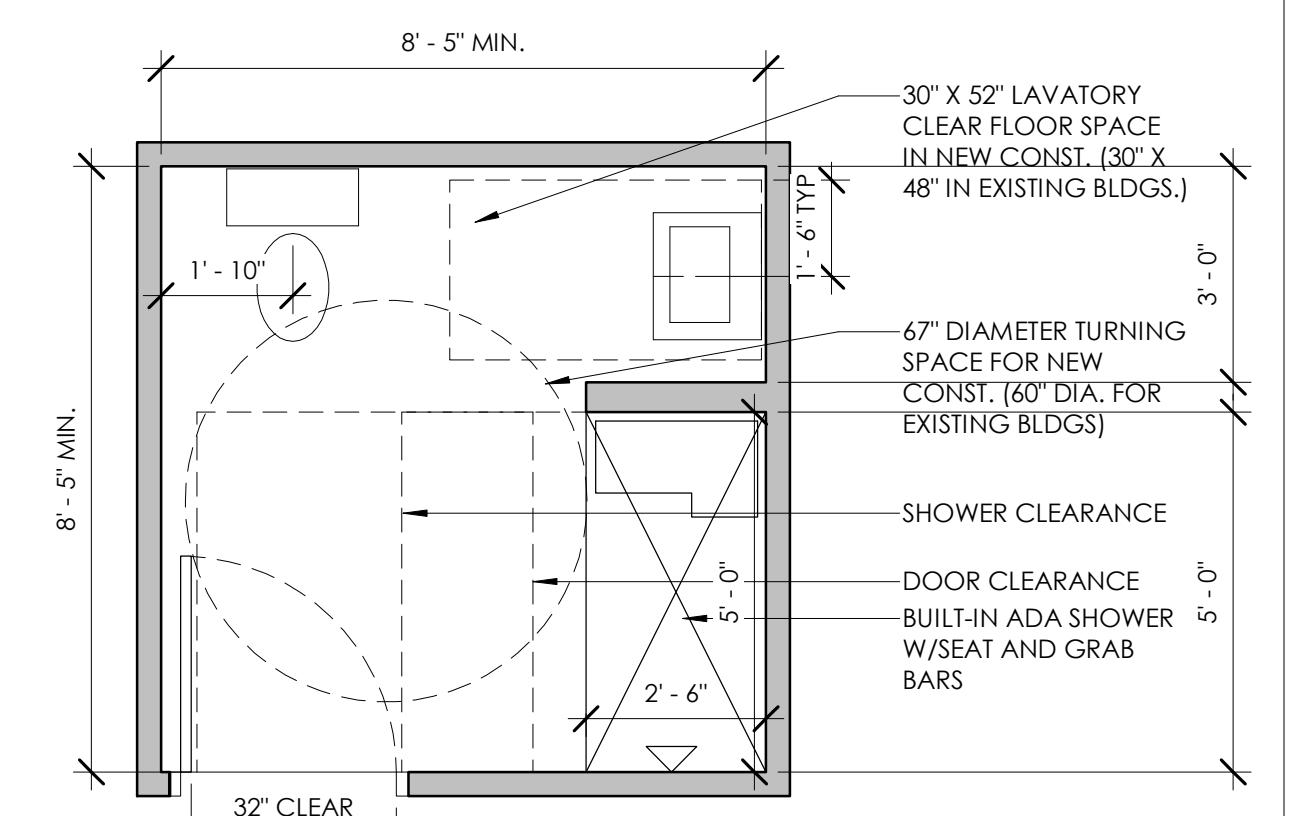
TRANSFER SHOWER WITH SEAT DETAIL



ADA ROLL-IN SHOWER WITH SEAT DETAIL

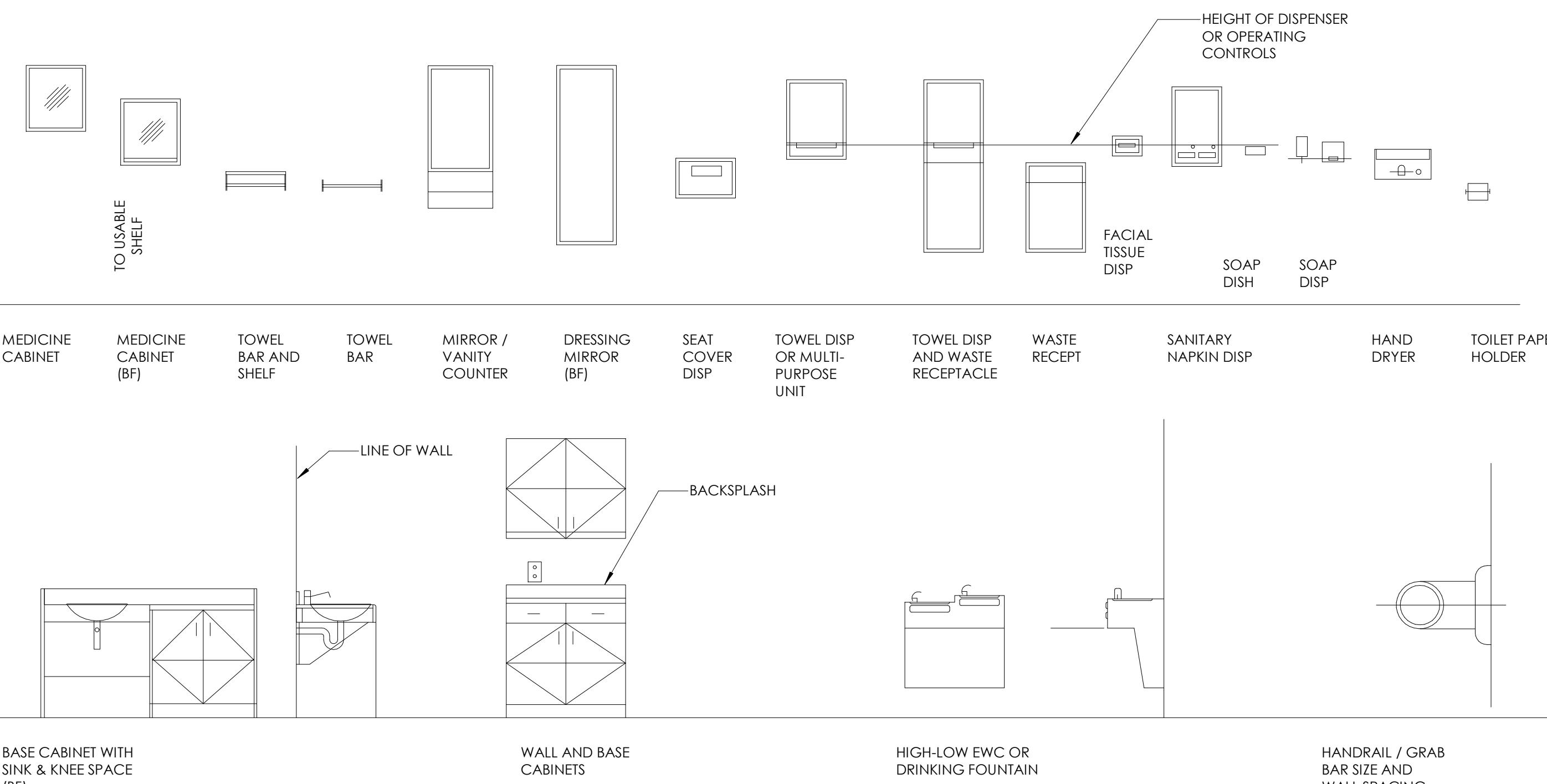


ADA TRANSFER SHOWER PLAN - NTS



ADA ROLL-IN SHOWER PLAN - NTS

ADDITIONAL RESTROOM MOUNTING HEIGHTS



BASE CABINET WITH SINK & KNEE SPACE (BF) WALL AND BASE CABINETS HIGH-LOW EWC OR DRINKING FOUNTAIN HANDRAIL / GRAB BAR SIZE AND WALL SPACING

PROJECT NAME
99 W. MICHIGAN
PROJECT ADDRESS
99 W. MICHIGAN AVE, BATTLE CREEK, MI
49017

ISSUE
SCHEMATIC DESIGN

DRAWN BY CMN
DATE 1/7/2025 6:22:26 AM
SCALE As indicated
STAMP

PROJECT NUMBER
2024.095
PLUMBING MOUNTING HEIGHTS

T003

2015 MICHIGAN REHABILITATION CODE

DRIVEN DESIGN

CHAPTER 5: CLASSIFICATION OF WORK

SECTION 505

AREA OF RENOVATION = 10,782 SQUARE FEET, WHICH IS 100% OF THE TOTAL BUILDING AREA.
THE WORK IS GREATER THAN 50% AND THEREFORE IS CONSIDERED A LEVEL 3 ALTERATION.

SECTION 508.2 EXCEPT AS SPECIFICALLY PROVIDED FOR IN CHAPTER 12, HISTORIC BUILDINGS SHALL COMPLY WITH APPLICABLE PROVISIONS OF THIS CODE FOR THE TYPE OF WORK BEING PERFORMED. THE BUILDING IS CURRENTLY LISTED ON THE STATE REGISTRY OF HISTORIC PROPERTIES.

CHAPTER 7: ALTERATIONS - LEVEL 1

SECTION 702.5 ENERGY ESCAPE AND RESCUE OPENINGS. WHERE WINDOWS ARE REQUIRED TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS IN GROUP R-2 AND R-3 OCCUPANCIES AND ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES REGULATED BY THE INTERNATIONAL RESIDENTIAL CODE, REPLACEMENT WINDOWS SHALL BE EXEMPT FROM THE REQUIREMENTS OF SECTIONS 1030.2, 1030.3 AND 1030.5 OF THE INTERNATIONAL BUILDING CODE AND SECTIONS R310.21 AND R310.23 OF THE INTERNATIONAL RESIDENTIAL CODE ACCORDINGLY. PROVIDED THE REPLACEMENT WINDOW IS THE MANUFACTURER'S LARGEST STANDARD SIZE WINDOW THAT WILL FIT WITHIN THE EXISTING FRAME OR EXISTING ROUGH OPENING, THE REPLACEMENT WINDOW SHALL BE PERMITTED TO BE OF THE SAME OPERATING STYLE AS THE EXISTING WINDOW OR A STYLE THAT PROVIDES FOR AN EQUAL OR GREATER WINDOW OPENING AREA THAN THE EXISTING WINDOWS.

SECTION 702.6 MATERIALS AND METHODS. ALL NEW WORK SHALL COMPLY WITH THE MATERIALS AND METHOD REQUIREMENTS IN THE INTERNATIONAL BUILDING CODE, INTERNATIONAL ENERGY CONSERVATION CODE, INTERNATIONAL MECHANICAL CODE, AND INTERNATIONAL PLUMBING CODE, AS APPLICABLE, THAT SPECIFY MATERIAL STANDARDS, DETAIL OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT, OR SYSTEM IN THE BUILDING.

SECTION 704.1 GENERAL. ALTERATIONS SHOWS BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS.

SECTION 708.1 MINIMUM REQUIREMENTS. LEVEL 1 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE. THE ALTERATIONS SHALL CONFIRM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

CHAPTER 8: ALTERATIONS - LEVEL 2

SECTION 801.3 COMPLIANCE. ALL NEW CONSTRUCTION ELEMENTS, COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE. **EXCEPTIONS:** 1. WINDOWS MAY BE ADDED WITHOUT REQUIRING COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE. 2. NEWLY INSTALLED ELECTRICAL EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 808. 3. THE LENGTH OF DEAD-END CORRIDORS IN NEWLY CONSTRUCTED SPACES SHALL ONLY BE REQUIRED TO COMPLY WITH THE PROVISIONS OF SECTION 805.6. 4. THE MINIMUM CEILING HEIGHT OF THE NEWLY CREATED HABITABLE AND OCCUPYABLE SPACES AND CORRIDORS SHALL BE 7 FEET.

SECTION 803.2 VERTICAL OPENINGS. EXISTING VERTICAL OPENINGS SHALL COMPLY WITH THE PROVISIONS OF SECTION 803.1, 803.2.2, AND 803.2.3.

SECTION 803.2.1 EXISTING VERTICAL OPENINGS. ALL EXISTING INTERIOR VERTICAL OPENINGS CONNECTING TWO OR MORE FLOORS SHALL BE ENCLOSED WITH APPROVED ASSEMBLIES HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR WITH APPROVED OPENING PROTECTIVE. **EXCEPTIONS:** 1. WHERE VERTICAL OPENING ENCLOSURE IS NOT REQUIRED BY THE INTERNATIONAL BUILDING OR INTERNATIONAL FIRE CODE. 2. INTERIOR VERTICAL OPENINGS OTHER THAN STAIRWELLS MAY BE BLOCKED AT THE FLOOR AND CEILING OF THE WORK AREA BY INSTALLATION OF NEW LESS THAN 1/2" OF SOLID WOOD OR EQUIVALENT CONSTRUCTION. 3. THE ENCLOSURE SHALL NOT BE REQUIRED WHERE: 3.1 CONNECTING THE MAIN FLOOR AND MEZZANINE, OR 3.2 ALL OF THE FOLLOWING REQUIREMENTS ARE MET: THE COMMUNICATING AREA HAS A LOW-HAZARD OCCUPANCY OR HAS A MODERATE-HAZARD OCCUPANCY THAT IS PROTECTED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. 3.2.2 THE LOWEST OR NEARLY TO THE LOWEST LEVEL IS THE STREET LEVEL. 3.2.3 THE ENTIRE AREA IS OPEN AND UNOBSTRUCTED IN A MANNER SUCH THAT IT MAY BE ASSUMED THAT A FIRE IN ANY PART OF THE INTERCONNECTED SPACES WILL BE READILY OBLIGED TO ALL OF THE OCCUPANTS. 3.2.4 EXIT CAPACITY IS SUFFICIENT TO PROVIDE EGRESS SIMULTANEOUSLY FOR ALL OCCUPANTS OF ALL LEVELS BY CONSIDERING ALL AREAS TO BE A SINGLE FLOOR AREA FOR THE DETERMINATE OR REQUIRED EXIT CAPACITY. 3.2.5 EACH FLOOR LEVEL, CONSIDERED SEPARATELY HAS AT LEAST ONE-HALF OF ITS INDIVIDUAL REQUIRED EXIT CAPACITY PROVIDED BY AN EXIT OR EXITS LEADING DIRECTLY OUT OF THAT LEVEL WITHOUT HAVING TO TRAVERSE ANOTHER COMMUNICATING FLOOR LEVEL OR BE EXPOSED TO THE SMOKE OR FIRE SPREADING FROM ANOTHER COMMUNICATING FLOOR LEVEL.

SECTION 803.2.1 #11. IN GROUP R-2 OCCUPANCIES, A MINIMUM 30-MINUTE ENCLOSURE SHALL BE PROVIDED TO PROTECT ALL VERTICAL OPENINGS NOT EXCEEDING THREE STORIES. THIS ENCLOSURE OF THE ENCLOSURE SPECIFIED IN SECTION 803.2.1, SHALL NOT BE REQUIRED IN THE FOLLOWING LOCATIONS: 11.1 VERTICAL OPENINGS NOT EXCEEDING TWO STORIES WITH NOT MORE THAN FOUR DWELLING UNITS PER FLOOR. 11.2 BUILDINGS PROTECT THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM. 11.3 BUILDING WITH NOT MORE THAN FOUR DWELLING UNITS PER FLOOR WHERE EVERY SLEEPING ROOM ABOVE THE SECOND FLOOR IS PROVIDED WITH DIRECT ACCESS TO A FIRE ESCAPE OR OTHER APPROVED EXTERIOR DOOR OR WINDOW'S HAVING A SILL HEIGHT OR NOT GREAT THAN 44 INCHES AND THE BUILDING IS PROTECTED THROUGHOUT BY AN AUTOMATIC FIRE ALARM SYSTEM COMPLYING WITH SECTION 804.

SECTION 804.2.2.1 MIXED USES. IN WORK AREAS CONTAINING MIXED USES, ONE OR MORE OF WHICH REQUIRES AUTOMATIC SPRINKLER PROTECTION IN ACCORDANCE WITH SECTION 804.2.2, WHICH PROTECTION SHALL NOT BE REQUIRED THROUGHOUT THE WORK AREA PROVIDED THAT THE USES REQUIRING SUCH PROTECTION ARE SEPARATED FROM THOSE NOT REQUIRING PROTECTION BY FIRE RESISTANCE RATED CONSTRUCTION HAVING A MINIMUM 2-HOUR RATING FOR GROUP H AND A MINIMUM 1-HOUR RATING FOR ALL OTHER OCCUPANCY GROUPS.

SECTION 804.4.1.6 A FIRE ALARM SYSTEM SHALL BE INSTALLED IN WORK AREAS OF GROUP R-2 APARTMENT BUILDINGS AS REQUIRED BY THE INTERNATIONAL FIRE CODE FOR EXISTING GROUP R-2 OCCUPANCIES.

SECTION 804.4.3 INDIVIDUAL SLEEPING UNITS AND INDIVIDUAL DWELLING UNITS IN ANY WORK AREA IN GROUP R OCCUPANCIES SHALL BE PROVIDED WITH SMOKE ALARMS IN ACCORDANCE WITH THE MICHIGAN BUILDING CODE.

SECTION 805.3.1 EVERY STORY UTILIZED FOR HUMAN OCCUPANCY ON WHICH THERE IS A WORK AREA THAT INCLUDES EXIT OR CORRIDORS SHARED BY MORE THAN ONE TENANT WITHIN THE WORK AREA SHALL BE PROVIDED WITH THE MINIMUM NUMBER OF EXITS BASED ON THE OCCUPANCY AND THE OCCUPANT LOAD IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

SECTION 805.3.1.1 SINGLE-EXIT BUILDINGS. ONLY ONE EXIT IS REQUIRED FROM BUILDINGS AND SPACES OF THE FOLLOWING OCCUPANCIES. 5. GROUPS R-1 AND R-2 NOT MORE THAN TWO STORIES IN HEIGHT, WHEN THERE ARE NOT MORE THAN FOUR DWELLING UNITS PER FLOOR AND THE EXIT ACCESS TRAVEL DISTANCE DOES NOT EXCEED 50 FEET. THE MINIMUM FIRE-RESISTANCE RATING OF THE EXIT ENCLOSURE AND OF THE OPENING PROTECTION SHALL BE 1 HOUR. 6. IN MULTILEVEL DWELLING UNITS IN BUILDINGS OF.

SECTION 805.4.3 IN ANY WORK AREA, ALL DOORS OPENING ONTO AN EXIT PASSAGEWAY AT GRADE OR AN EXIT STAIRWAY SHALL BE SELF-CLOSING OR AUTOMATIC-CLOSING BY LISTED CLOSING DEVICES.

SECTION 805.5.1 ALL DWELLING UNIT OR SLEEPING UNIT CORRIDOR DOORS IN WORK AREAS IN BUILDINGS OF GROUPS R-2 SHALL BE AT LEAST 1 3/8" SOLID CORE WOOD OR APPROVED EQUIVALENT AND SHALL BE EQUIPPED WITH APPROVED DOOR CLOSERS. **EXCEPTION 5:** DOOR ASSEMBLIES HAVING A FIRE PROTECTION RATING OF AT LEAST 20 MINUTES.

SECTION 805.5.2 TRANSOMS. IN ALL BUILDINGS OF GROUP I-1, I-2, R-1, AND R-2 OCCUPANCIES, ALL TRANSOMS IN CORRIDOR WALLS IN WORK AREAS SHALL BE EITHER GLAZED WITH 1/4" WIRED GLASS SET IN METAL FRAMES OR OTHER GLAZING ASSEMBLIES HAVING A FIRE PROTECTION RATING AS REQUIRED FOR THE DOOR AND PERMANENTLY SECURED IN THE CLOSED POSITION OR SEALED WITH MATERIAL CONSISTENT WITH THE CORRIDOR CONSTRUCTION.

SECTION 805.6 DEAD-END CORRIDORS IN ANY WORK AREA SHALL NOT EXCEED 35 FEET.

SECTION 805.8.1 MEANS OF EGRESS IN ALL WORK AREAS SHALL BE PROVIDED WITH EXIT SIGNS IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.

SECTION 807.2 NEW STRUCTURAL ELEMENTS IN ALTERATIONS SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE.

SECTION 807.4 ALTERATIONS SHALL NOT REDUCE THE CAPACITY OF EXISTING GRAVITY LOAD-CARRYING STRUCTURAL ELEMENTS UNLESS IT IS DEMONSTRATED THAT THE ELEMENTS HAVE THE CAPACITY TO CARRY THE APPLICABLE DESIGN GRAVITY LOADS REQUIRED BY THE INTERNATIONAL BUILDING CODE.

SECTION 808.1 ALL NEWLY INSTALLED ELECTRICAL EQUIPMENT AND WIRING RELATING TO WORK DONE IN ANY WORK AREA SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF NFPA 70.

SECTION 809.1 ALL RECONFIGURED SPACES INTENDED FOR OCCUPANCY AND ALL SPACES CONVERTED TO HABITABLE SPACE IN ANY WORK AREA SHALL BE PROVIDED WITH NATURAL OR MECHANICAL VENTILATION IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE.

SECTION 811.1 LEVEL 2 ALTERATIONS TO EXISTING BUILDINGS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

CHAPTER 9: ALTERATIONS - LEVEL 3

SECTION 901.1 SCOPE. LEVEL 3 ALTERATIONS AS DESCRIBED IN SECTION 505 SHALL COMPLY WITH THE REQUIREMENTS OF THIS CHAPTER.

SECTION 903. EXISTING SHAFTS AND VERTICAL OPENINGS. EXISTING STAIRWAYS THAT ARE PART OF THE MEANS OF EGRESS SHALL BE ENCLOSED IN ACCORDANCE WITH SECTION 803.2.1 FROM THE HIGHEST WORK AREA FLOOR TO, AND INCLUDING, THE LEVEL OF EXIT DISCHARGE AND ALL FLOORS BELOW.

SECTION 903.3 INTERIOR FINISH. INTERIOR FINISH IN EXITS SERVING THE WORK AREA SHALL COMPLY WITH SECTION 803.4 BETWEEN THE HIGHEST FLOOR ON WHICH THERE IS A WORK AREA TO THE FLOOR OF EXIT DISCHARGE.

SECTION 904.1 AUTOMATIC SPRINKLER SYSTEMS. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE REQUIRED BY SECTION 804.2 OR THIS SECTION.

SECTION 904.2 FIRE ALARM AND DETECTION SYSTEMS. FIRE ALARM AND DETECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 907 OF THE INTERNATIONAL BUILDING CODE AS REQUIRED FOR NEW CONSTRUCTION.

SECTION 906.2 TYPE B DWELLING OR SLEEPING UNITS, WHERE FOUR OR MORE GROUP I-1, I-2, R-1, R-2, R-3, OR R-4 DWELLING OR SLEEPING UNITS ARE BEING ALTERED, THE REQUIREMENTS OF SECTION 1107 OF THE INTERNATIONAL BUILDING CODE FOR TYPE B UNITS AND CHAPTER 9 OF THE INTERNATIONAL BUILDING CODE FOR VISIBLE ALARMS APPLY ONLY TO THE QUANTITY OF THE SPACES BEING ALTERED. **EXCEPTION:** GROUP I-1, I-2, R-2, R-3, AND R-4 DWELLING OR SLEEPING UNITS WHERE THE FIRST CERTIFICATE OF OCCUPANCY WAS ISSUED BEFORE MARCH 15TH, 1991 ARE NOT REQUIRED TO PROVIDE TYPE B DWELLING OR SLEEPING UNITS.

SECTION 908.1 MINIMUM REQUIREMENTS. LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE. THE ALTERATIONS SHALL CONFIRM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

CHAPTER 10: CHANGE OF OCCUPANCY

SECTION 1008.3 WHERE THE OCCUPANCY OF PART OF AN EXISTING BUILDING IS CHANGED, ELECTRICAL SERVICE SHALL BE UPGRADED TO MEET THE REQUIREMENTS OF NFPA 70 FOR THE NEW OCCUPANCY.

SECTION 1012.1.1 WHERE A PORTION OF AN EXISTING BUILDING IS CHANGED TO A NEW OCCUPANCY CLASSIFICATION, AND THAT PORTION IS SEPARATED FROM THE REMAINDER OF THE BUILDING WITH FIRE BARRIERS HAVING A FIRE-RESISTANCE RATING AS REQUIRED IN THE INTERNATIONAL BUILDING CODE FOR THE SEPARATE OCCUPANCY, THAT PORTION SHALL COMPLY WITH ALL OF THE REQUIREMENTS OF CHAPTER 9 FOR THE NEW OCCUPANCY CLASSIFICATION.

TABLE 1012.4 OCCUPANCY CLASSIFICATIONS R-1 AND R-2 ARE BOTH CONSIDERED RELATIVE HAZARD LEVEL 3.

SECTION 1012.4.2 WHEN THE CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY AS SHOWN IN TABLE 1012.4, EXISTING ELEMENTS OF THE MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 905 FOR THE NEW OCCUPANCY CLASSIFICATION. NEWLY CONSTRUCTED OR CONFIGURED MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE INTERNATIONAL BUILDING CODE. THE ORIGINAL USE OF THE SECOND AND THIRD FLOORS WAS R-1. THE PROPOSED USE IS R-2.

TABLE 1012.5 OCCUPANCY CLASSIFICATIONS R-1 AND R-2 ARE BOTH CONSIDERED RELATIVE HAZARD LEVEL 2.

SECTION 1012.5.2 WHEN A CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY AS SHOWN IN TABLE 1012.5, THE HEIGHT AND AREA OF THE EXISTING BUILDING SHALL BE DEEMED ACCEPTABLE.

TABLE 1012.6 OCCUPANCY CLASSIFICATIONS R-1 AND R-2 ARE BOTH CONSIDERED RELATIVE HAZARD LEVEL 3.

SECTION 1012.6.2 WHEN A CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY AS SHOWN IN TABLE 1012.6, EXISTING EXTERIOR WALLS, INCLUDING OPENINGS SHALL BE ACCEPTED.

SECTION 1012.6.3 OPENINGS IN EXTERIOR WALLS SHALL BE PROTECTED AS REQUIRED BY THE INTERNATIONAL BUILDING CODE. **EXCEPTION 4:** EXTERIOR OPENING PROTECTIVES ARE NOT REQUIRED WHEN THE CHANGE OF OCCUPANCY GROUP IS TO AN EQUAL OR LOWER HAZARD CLASSIFICATION IN ACCORDANCE WITH TABLE 1012.6.

CHAPTER 11: ADDITIONS

SECTION 1102.1 NO ADDITION SHALL INCREASE THE HEIGHT OF AN EXISTING BUILDING BEYOND THAT PERMITTED UNDER THE APPLICABLE PROVISIONS OF CHAPTER 5 OF THE INTERNATIONAL BUILDING CODE FOR NEW BUILDINGS.

SECTION 1102.2 NO ADDITION SHALL INCREASE THE AREA OF AN EXISTING BUILDING BEYOND THAT PERMITTED UNDER THE APPLICABLE PROVISIONS OF CHAPTER 5 OF THE INTERNATIONAL BUILDING CODE FOR NEW BUILDINGS UNLESS FIRE SEPARATION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE IS PROVIDED.

SECTION 1103.4 ANY STRUCTURAL ELEMENT OF AN EXISTING BUILDING SUBJECTED TO ADDITIONAL LOADS FROM THE EFFECTS OF SNOW DRIFT AS A RESULT OF AN ADDITION SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE.

SECTION 1106.1 ADDITIONS TO EXISTING BUILDINGS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE AS THEY RELATE TO NEW CONSTRUCTION.

CHAPTER 12: HISTORIC BUILDINGS

SECTION 1204.1 EXCEPTION: TYPE B DWELLING OR SLEEPING UNITS REQUIRED BY SECTION 1107 OF THE INTERNATIONAL BUILDING CODE ARE NOT REQUIRED TO BE PROVIDED IN HISTORICAL BUILDINGS.

SECTION 1205.2 THE ALLOWABLE FLOOR AREA FOR HISTORIC BUILDINGS UNDERGOING A CHANGE OF OCCUPANCY SHALL BE PERMITTED TO EXCEED BY 20 PERCENT THE ALLOWABLE AREAS SPECIFIED IN CHAPTER 5 OF THE INTERNATIONAL BUILDING CODE

SECTION 1205.4 REQUIRED OCCUPANCY SEPARATIONS OF 1 HOUR MAY BE OMITTED WHEN THE BUILDING IS PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM THROUGHOUT.

SECTION 1205.10 WHERE 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION IS REQUIRED BY THESE PROVISIONS, IT NEED NOT BE PROVIDED, REGARDLESS OF CONSTRUCTION OR OCCUPANCY, WHERE THE EXISTING WALL AND CEILING FINISH IS WOOD LATH AND PLASTER.

SECTION 1203.6 IN BUILDINGS OF THREE STORIES OR LESS, EXIT ENCLOSURE CONSTRUCTION SHALL LIMIT THE SPREAD OF SMOKE BY THE USE OF TIGHT-FITTING DOORS AND SOLID ELEMENTS. SUCH ELEMENTS ARE NOT REQUIRED TO HAVE A FIRE-RESISTANCE RATING.

SECTION 1205.6 EXISTING DOOR OPENINGS AND CORRIDOR AND STAIRWAY WIDTHS LESS THAN THOSE THAT WOULD BE ACCEPTABLE FOR NONHISTORIC BUILDINGS UNDER THESE PROVISIONS SHALL BE APPROVED, PROVIDED THAT, IN THE OPINION OF THE CODE OFFICIAL, THERE IS SUFFICIENT WIDTH AND HEIGHT FOR A PERSON TO PASS THROUGH THE OPENING OR TRAVERSE THE EXIT AND THAT THE CAPACITY OF THE EXIT SYSTEM IS ADEQUATE FOR THE OCCUPANT LOAD, OR WHERE OTHER OPERATIONAL CONTROLS TO LIMIT OCCUPANCY ARE APPROVED BY THE CODE OFFICIAL.

SECTION 1205.11 EXISTING STAIRWAYS SHALL COMPLY WITH THE REQUIREMENTS OF THESE PROVISIONS. THE CODE OFFICIAL SHALL GRANT ALTERNATIVES FOR STAIRWAYS AND GUARDS IF ALTERNATIVE STAIRWAYS ARE FOUND TO BE ACCEPTABLE OR ARE JUDGED TO MEET THE INTENT OF THESE PROVISIONS. EXISTING STAIRWAYS SHALL COMPLY WITH SECTION 1203.

NOT FOR
CONSTRUCTION

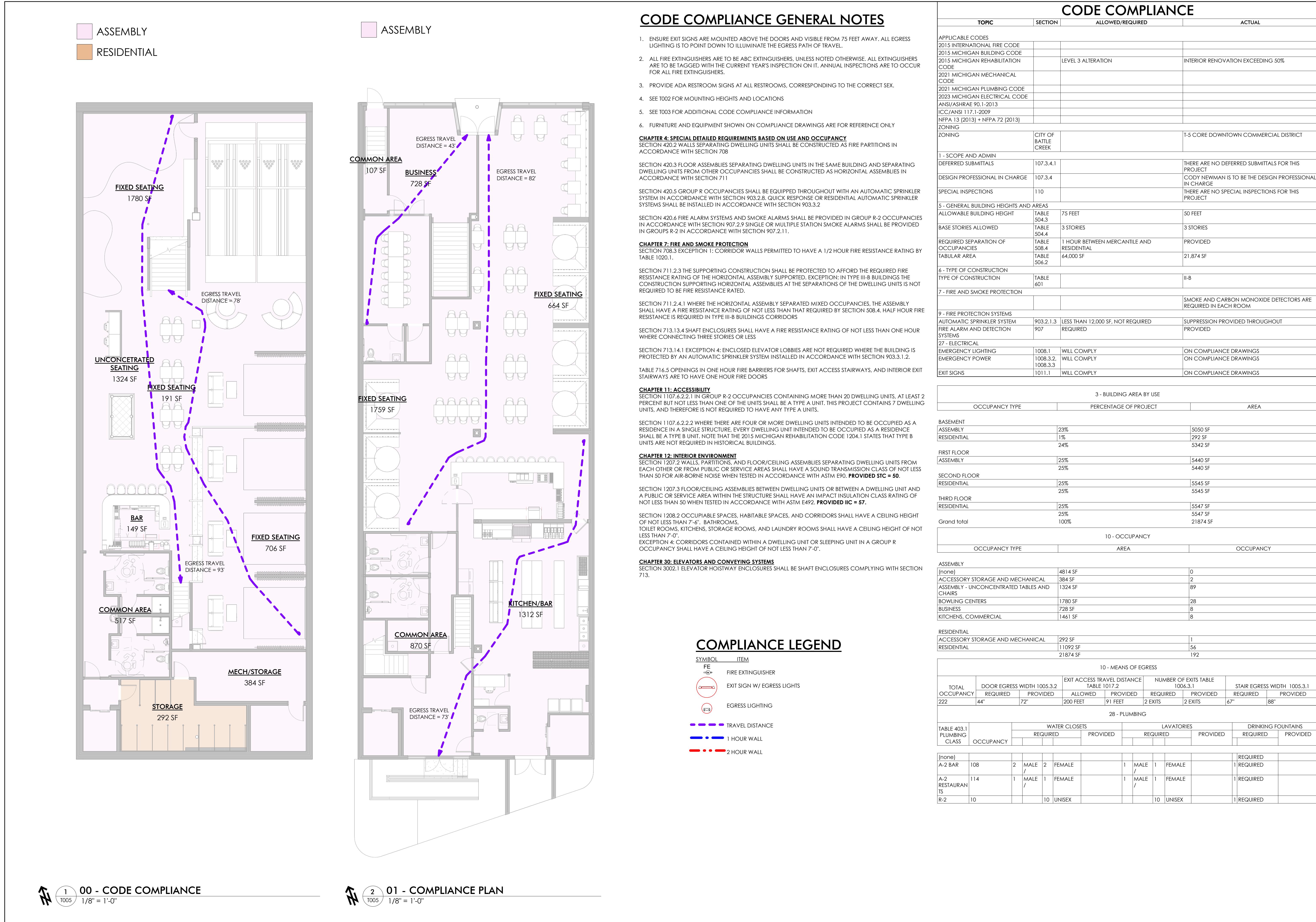
PROJECT NAME
99 W. MICHIGAN
PROJECT ADDRESS
99 W. MICHIGAN AVE, BATTLE CREEK, MI
49017

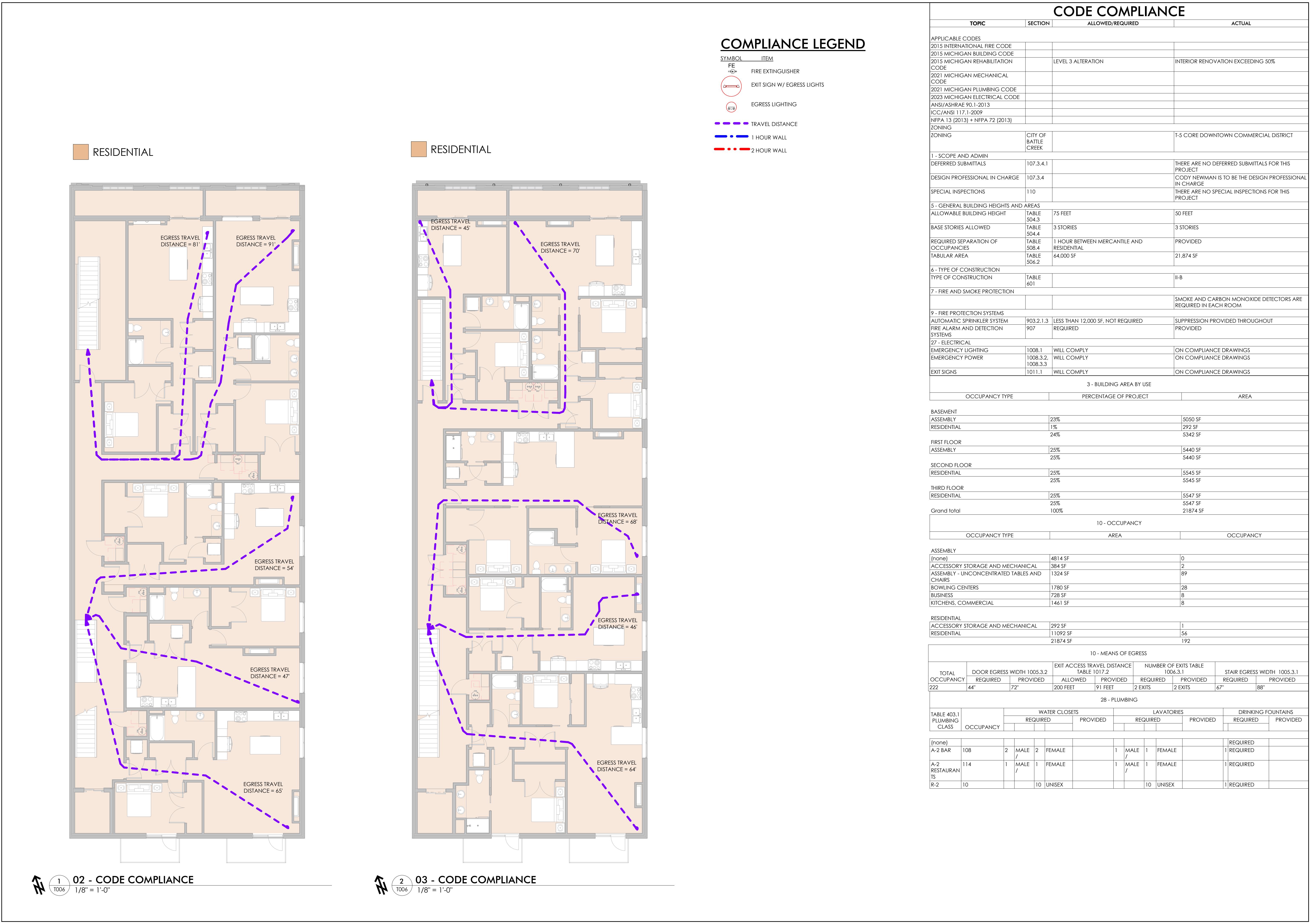
ISSUE
SCHEMATIC DESIGN

DRAWN BY CMN
DATE 1/7/2025 6:22:27 AM
SCALE
STAMP

PROJECT NUMBER
2024.095
CODE COMPLIANCE - REHAB CODE

T004





NOT FOR
CONSTRUCTION

PROJECT NAME
99 W. MICHIGAN
PROJECT ADDRESS
99 W. MICHIGAN AVE, BATTLE CREEK, MI
49017

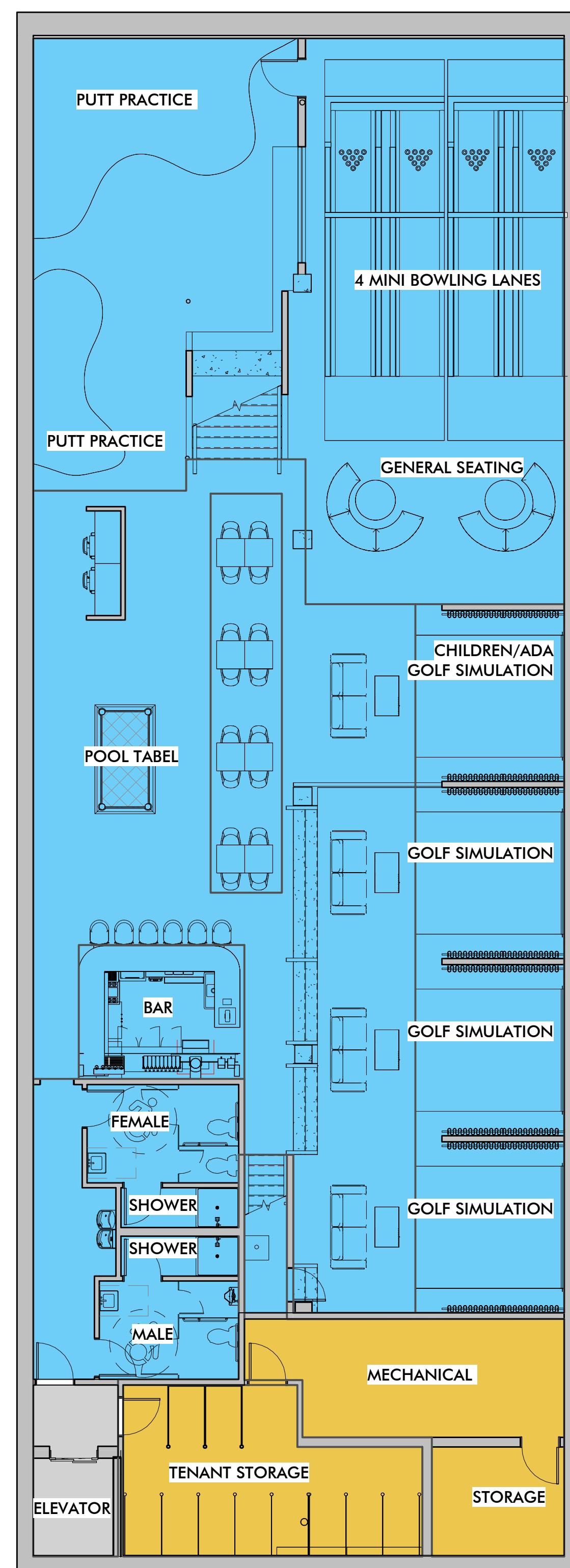
ISSUE

SCHEMATIC DESIGN

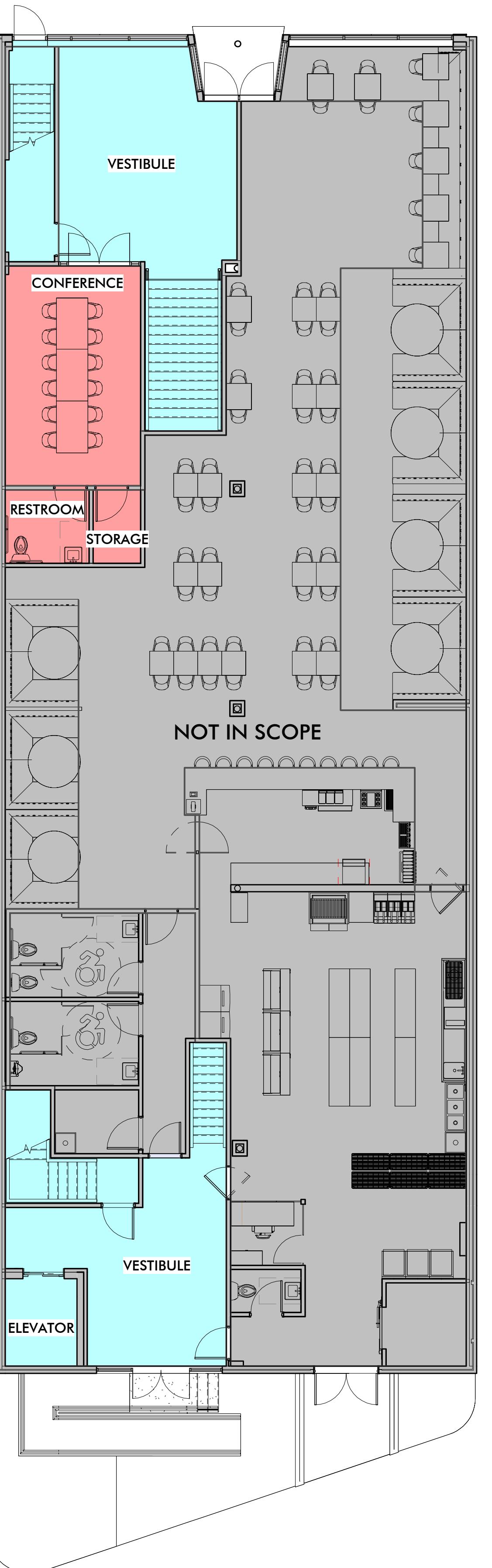
DRAWN BY CMN
DATE 1/7/2025 6:22:52 AM
SCALE 1/8" = 1'-0"
STAMP

PROJECT NUMBER
2024.095
AREA PLANS

T007

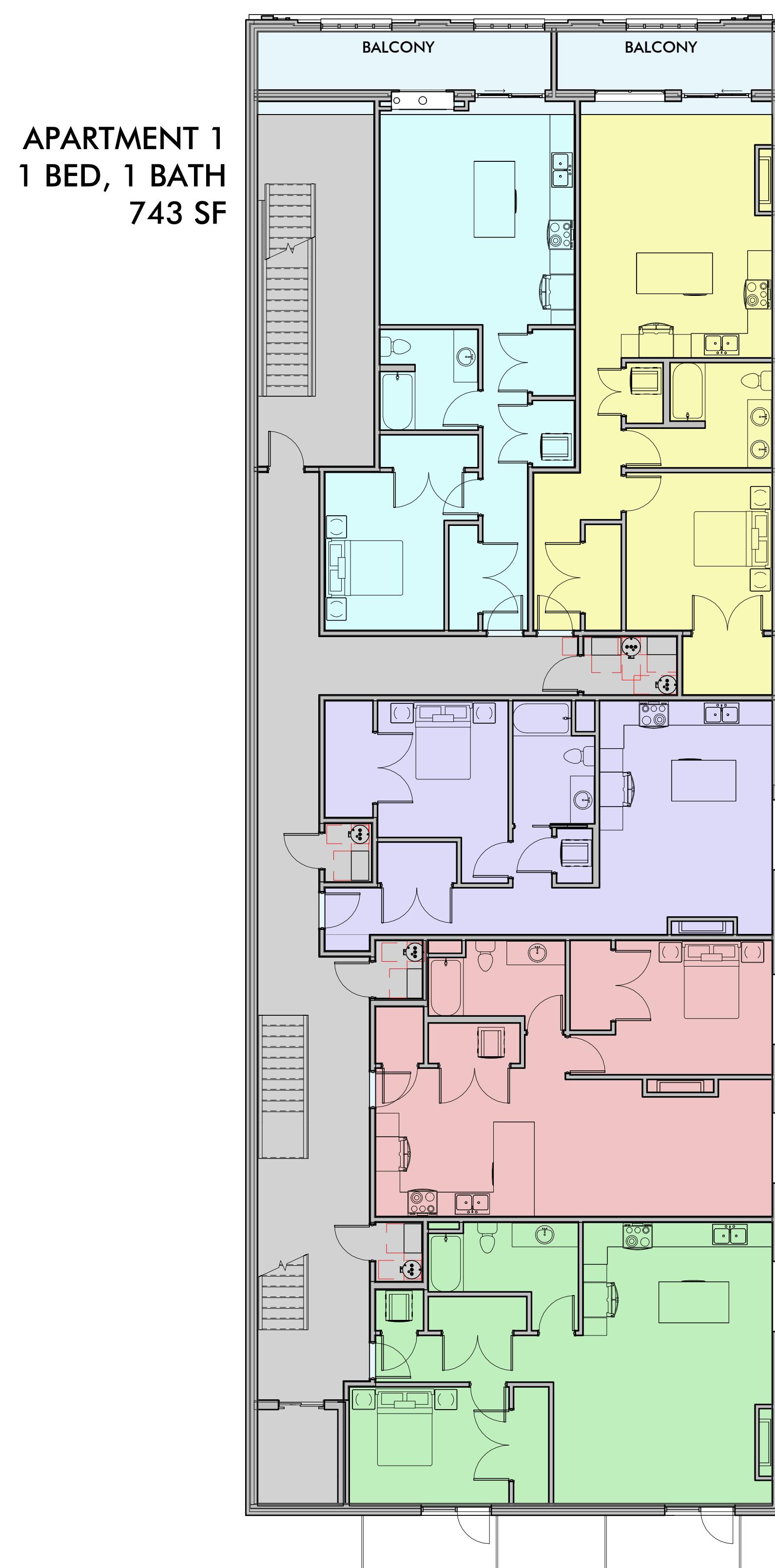


1 BASEMENT AREA PLAN
T007 1/8" = 1'-0"



2 FIRST FLOOR AREA PLAN
T007 1/8" = 1'-0"

COMMON - ENTRANCES 1,045 S.F.
PRIVATE CONFERENCE 367 S.F.
NOT IN SCOPE 4,031 S.F.



1 T008 1/8" = 1'-0"
SECOND FLOOR AREA PLAN

© 2024 Driven Design Studio, All Rights Reserved.

1 T008 1/8" = 1'-0"

2 T008 1/8" = 1'-0"

3 T008 1/8" = 1'-0"

4 T008 1/8" = 1'-0"

5 T008 1/8" = 1'-0"

6 T008 1/8" = 1'-0"

7 T008 1/8" = 1'-0"

8 T008 1/8" = 1'-0"

9 T008 1/8" = 1'-0"

10 T008 1/8" = 1'-0"

11 T008 1/8" = 1'-0"

12 T008 1/8" = 1'-0"

13 T008 1/8" = 1'-0"

14 T008 1/8" = 1'-0"

15 T008 1/8" = 1'-0"

16 T008 1/8" = 1'-0"

17 T008 1/8" = 1'-0"

18 T008 1/8" = 1'-0"

19 T008 1/8" = 1'-0"

20 T008 1/8" = 1'-0"

21 T008 1/8" = 1'-0"

22 T008 1/8" = 1'-0"

23 T008 1/8" = 1'-0"

24 T008 1/8" = 1'-0"

25 T008 1/8" = 1'-0"

26 T008 1/8" = 1'-0"

27 T008 1/8" = 1'-0"

28 T008 1/8" = 1'-0"

29 T008 1/8" = 1'-0"

30 T008 1/8" = 1'-0"

31 T008 1/8" = 1'-0"

32 T008 1/8" = 1'-0"

33 T008 1/8" = 1'-0"

34 T008 1/8" = 1'-0"

35 T008 1/8" = 1'-0"

36 T008 1/8" = 1'-0"

37 T008 1/8" = 1'-0"

38 T008 1/8" = 1'-0"

39 T008 1/8" = 1'-0"

40 T008 1/8" = 1'-0"

41 T008 1/8" = 1'-0"

42 T008 1/8" = 1'-0"

43 T008 1/8" = 1'-0"

44 T008 1/8" = 1'-0"

45 T008 1/8" = 1'-0"

46 T008 1/8" = 1'-0"

47 T008 1/8" = 1'-0"

48 T008 1/8" = 1'-0"

49 T008 1/8" = 1'-0"

50 T008 1/8" = 1'-0"

51 T008 1/8" = 1'-0"

52 T008 1/8" = 1'-0"

53 T008 1/8" = 1'-0"

54 T008 1/8" = 1'-0"

55 T008 1/8" = 1'-0"

56 T008 1/8" = 1'-0"

57 T008 1/8" = 1'-0"

58 T008 1/8" = 1'-0"

59 T008 1/8" = 1'-0"

60 T008 1/8" = 1'-0"

61 T008 1/8" = 1'-0"

62 T008 1/8" = 1'-0"

63 T008 1/8" = 1'-0"

64 T008 1/8" = 1'-0"

65 T008 1/8" = 1'-0"

66 T008 1/8" = 1'-0"

67 T008 1/8" = 1'-0"

68 T008 1/8" = 1'-0"

69 T008 1/8" = 1'-0"

70 T008 1/8" = 1'-0"

71 T008 1/8" = 1'-0"

72 T008 1/8" = 1'-0"

73 T008 1/8" = 1'-0"

74 T008 1/8" = 1'-0"

75 T008 1/8" = 1'-0"

76 T008 1/8" = 1'-0"

77 T008 1/8" = 1'-0"

78 T008 1/8" = 1'-0"

79 T008 1/8" = 1'-0"

80 T008 1/8" = 1'-0"

81 T008 1/8" = 1'-0"

82 T008 1/8" = 1'-0"

83 T008 1/8" = 1'-0"

84 T008 1/8" = 1'-0"

85 T008 1/8" = 1'-0"

86 T008 1/8" = 1'-0"

87 T008 1/8" = 1'-0"

88 T008 1/8" = 1'-0"

89 T008 1/8" = 1'-0"

90 T008 1/8" = 1'-0"

91 T008 1/8" = 1'-0"

92 T008 1/8" = 1'-0"

93 T008 1/8" = 1'-0"

94 T008 1/8" = 1'-0"

95 T008 1/8" = 1'-0"

96 T008 1/8" = 1'-0"

97 T008 1/8" = 1'-0"

98 T008 1/8" = 1'-0"

99 T008 1/8" = 1'-0"

100 T008 1/8" = 1'-0"

101 T008 1/8" = 1'-0"

102 T008 1/8" = 1'-0"

103 T008 1/8" = 1'-0"

104 T008 1/8" = 1'-0"

105 T008 1/8" = 1'-0"

106 T008 1/8" = 1'-0"

107 T008 1/8" = 1'-0"

108 T008 1/8" = 1'-0"

109 T008 1/8" = 1'-0"

110 T008 1/8" = 1'-0"

111 T008 1/8" = 1'-0"

112 T008 1/8" = 1'-0"

113 T008 1/8" = 1'-0"

114 T008 1/8" = 1'-0"

115 T008 1/8" = 1'-0"

116 T008 1/8" = 1'-0"

117 T008 1/8" = 1'-0"

118 T008 1/8" = 1'-0"

119 T008 1/8" = 1'-0"

120 T008 1/8" = 1'-0"

121 T008 1/8" = 1'-0"

122 T008 1/8" = 1'-0"

123 T008 1/8" = 1'-0"

124 T008 1/8" = 1'-0"

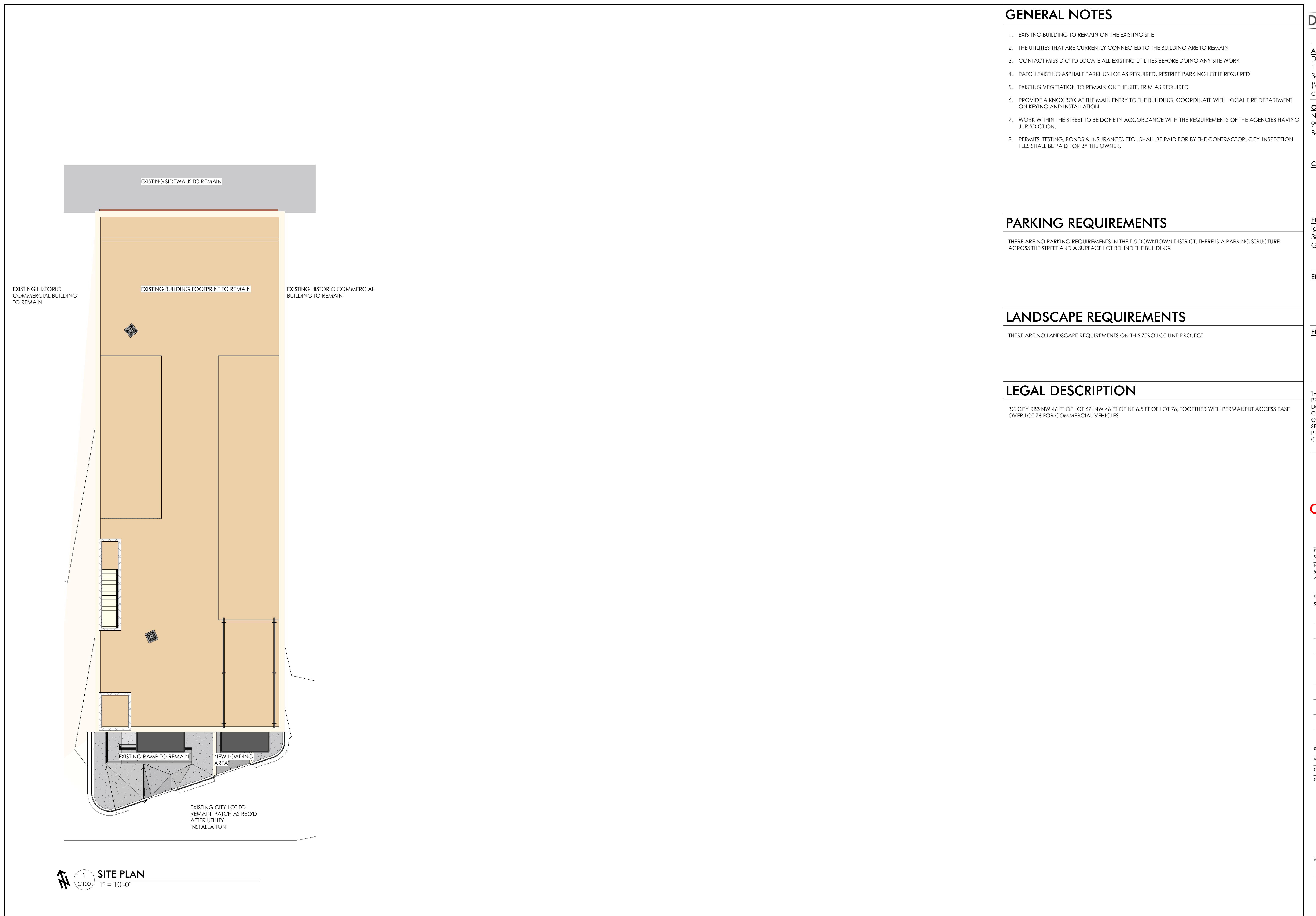
125 T008 1/8" = 1'-0"

126 T008 1/8" = 1'-0"

127 T008 1/8" = 1'-0"

128 T008 1/8" = 1'-0"

129 T008 1/8" = 1'-0"



DRIVEN DESIGN

ARCHITECTURE/INTERIOR DESIGN
Driven Design Studio PLLC
117 West Michigan Avenue
Battle Creek, MI 49017
(269) 753-8040
cody@drivendesignstudio.com

OWNER
Norman Holdings LLC
99 W. Michigan Avenue
Battle Creek, MI

CONSTRUCTION MANAGER/GC

ENGINEER
Ignite Design
38 Commerce Street
Grand Rapids, MI

ENGINEER**ENGINEER**

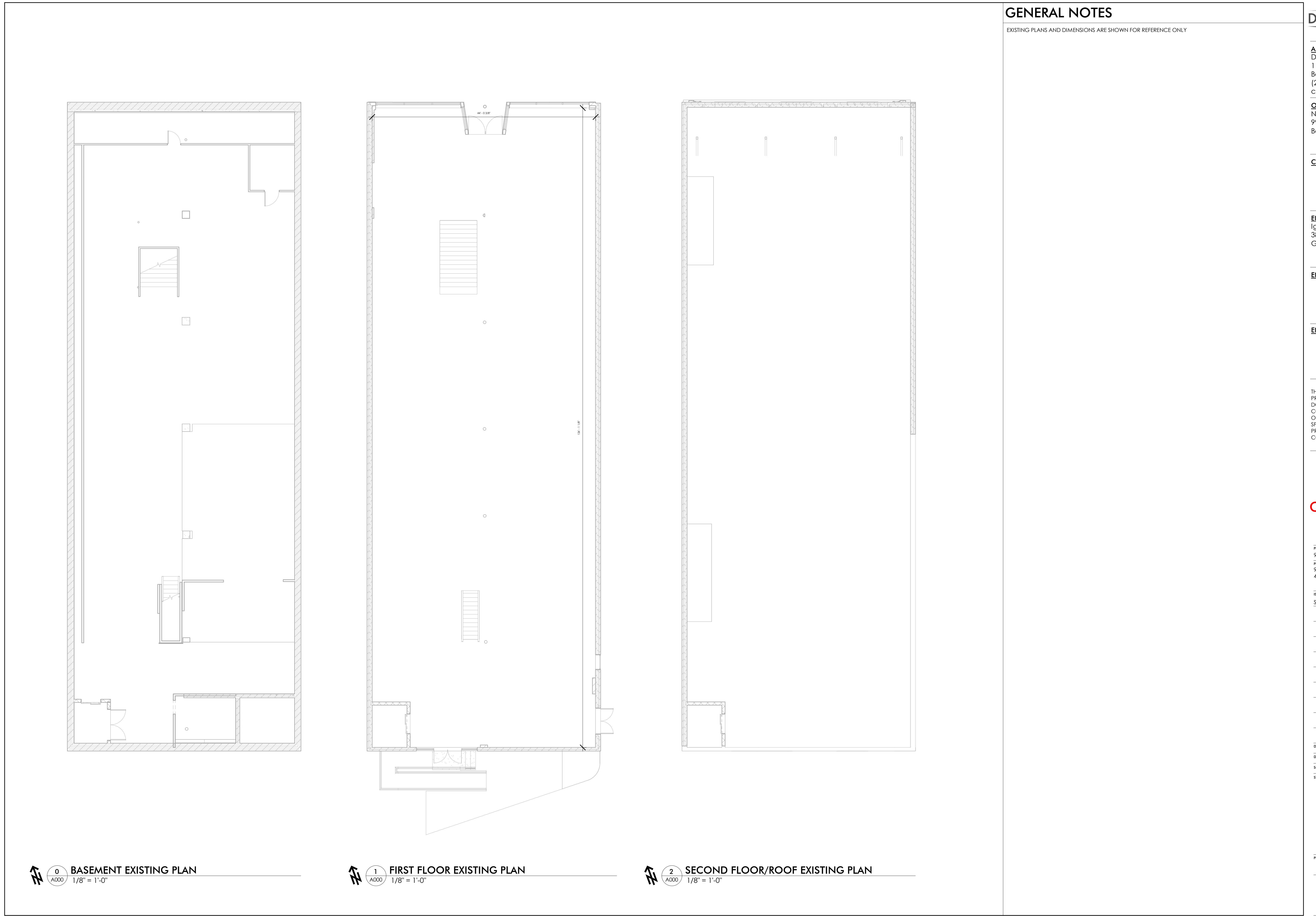
THIS DOCUMENT IS THE EXCLUSIVE PROPERTY OF DRIVEN DESIGN. THE DOCUMENT & THE INFORMATION IT CONTAINS MAY NOT BE REPRODUCED OR USED FOR OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF DRIVEN DESIGN.

PROJECT NAME
99 W. MICHIGAN
PROJECT ADDRESS
99 W. MICHIGAN AVE, BATTLE CREEK, MI 49017

ISSUE
SCHEMATIC DESIGN

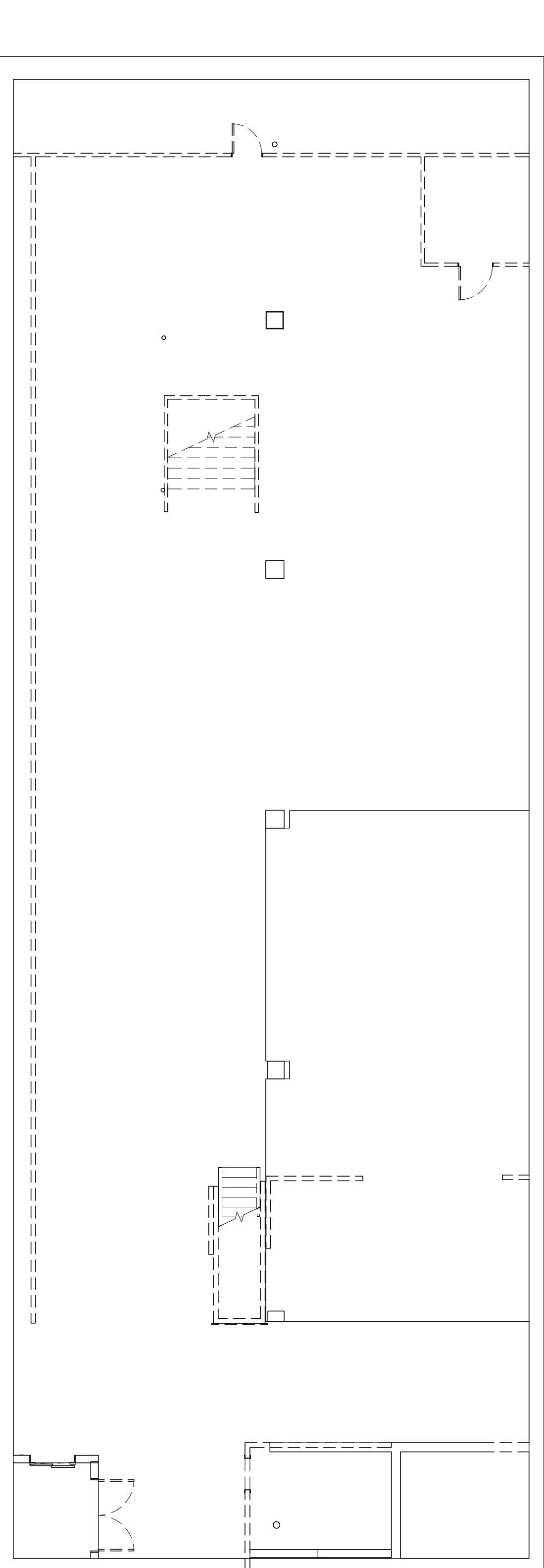
DRAWN BY CMN
DATE 1/7/2025 6:23:09 AM
SCALE 1" = 10'-0"
STAMP

PROJECT NUMBER
2024.095
ARCHITECTURAL SITE PLAN

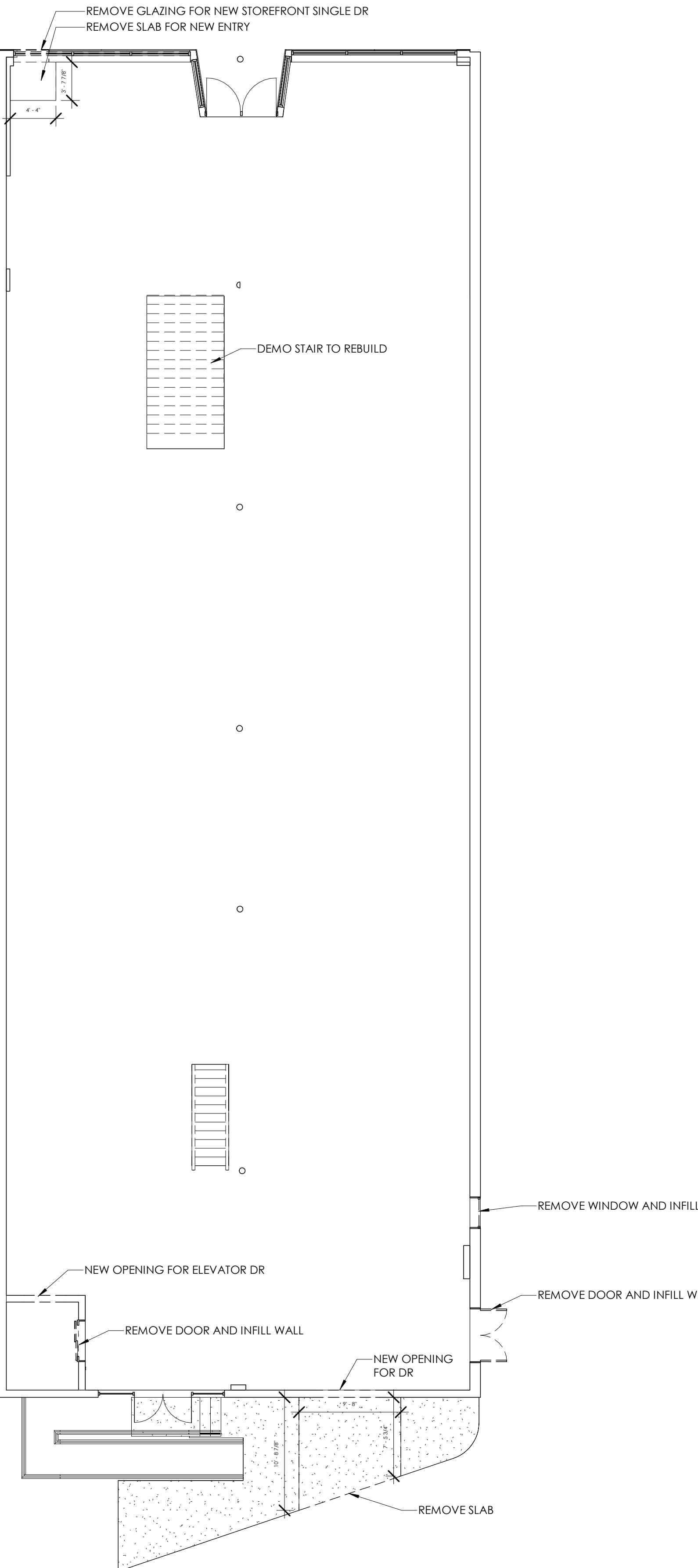


DEMOLITION NOTES

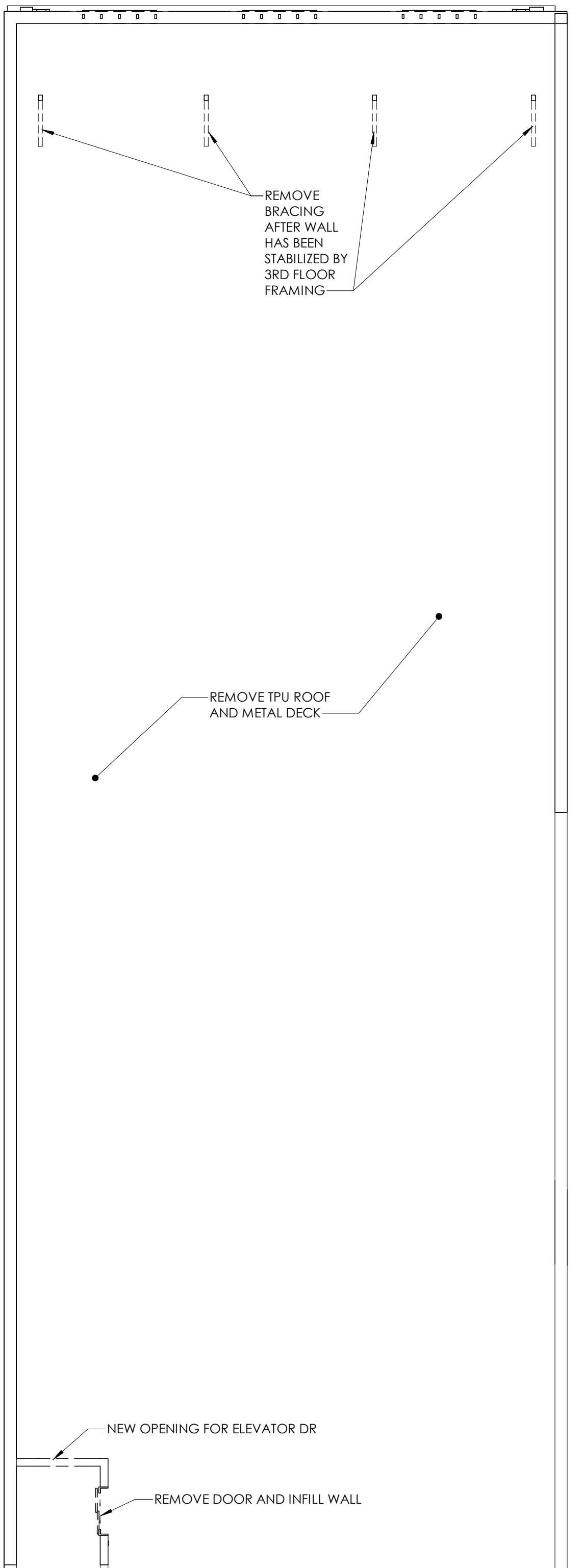
1. REMOVE ALL DASHED WALLS, WINDOWS, AND DOORS COMPLETELY.
2. OWNER TO REMOVE ALL FURNISHINGS/ EQUIPMENT THAT THEY WISH TO RETAIN FROM THE AREAS OF DEMOLITION/ CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION WORK IN EACH AREA. OWNER TO COORDINATE WITH CONTRACTOR REGARDING THE TIME SCHEDULE FOR THIS TO BE COMPLETED.
3. PATCH AND FILL ANY HOLES IN THE WALL CAUSED BY THE REMOVAL OF DOORS, WINDOWS, OR WALLS TO MATCH SURROUNDINGS.
4. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/ OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
5. ANY HAZARDOUS MATERIALS ARE TO BE REMOVED BY A LICENSED PROFESSIONAL IN THE STATE OF MICHIGAN.
6. ALL SAFETY ISSUES RELATED TO DEMOLITION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
7. SEQUENCE DEMOLITION WITH STRUCTURAL WORK TO ASSURE SAFETY. PROVIDE SHORING AS RECD TO ENSURE SAFE CONDITIONS EXIST. SHORING IS NOT SHOWN ON PLANS. STRUCTURAL ELEMENTS ARE TO REMAIN, UNLESS NOTED OTHERWISE, COORDINATE WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
8. ALL TRADES TO COORDINATE BETWEEN ONE ANOTHER TO AVOID CONFLICTS.
9. NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL REMOVE ALL MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
10. THE CONTRACTOR SHOULD TAKE CARE DURING THE PROJECT TO NOT INTERRUPT THE USE IN AREAS NOT IN SCOPE.
11. PRIOR TO ANY DIGGING ON OR AROUND THE SITE UTILITIES ARE TO BE LOCATED USING MISS DIG.
12. ALL RUBBISH AND DEBRIS FROM DEMOLITION IS TO BE REMOVED IMMEDIATELY FROM THE SITE AFTER DEMOLITION. COORDINATE ALL DEMOLITION, DUMPSTER LOCATIONS, BARRICAADING, PEDESTRIAN PROTECTION MEASURES, ETC. WITH THE OWNER AND LOCAL MUNICIPALITY PRIOR TO COMMENCEMENT.
13. REMOVE ALL LIGHTING, WIRING, FIRE ALARM DEVICES, RECEPTACLES, AND SPEAKERS FROM WALLS AND CEILINGS BEING REMOVED. COORDINATE WITH ARCHITECT AS REQUIRED. REMOVE ALL ABANDONED EXPOSED CONDUIT AND WIRING BACK TO SOURCE. REMOVE WIRING BACK TO PANEL OR NEAREST JUNCTION BOX. RE-LABEL CIRCUIT BREAKER AS SPARE, IN SCOPE OF WORK.
14. PROVIDE BLANK COVERPLATE OVER EMPTY OUTLET BOXES IF DEVICE IS REMOVED AND NOT REPLACED.
15. REMOVE ALL EXISTING HVAC, FIRE PROTECTION AND PLUMBING EQUIPMENT, PIPING BACK TO MAIN AND ALL ASSOCIATED ACCESSORIES, SANITARY, STORM, AND VENT STACKS TO REMAIN, CAP ANY UNUSED AREAS.
16. SALVAGE MATERIALS AS REQUIRED IF PART OF THE SCOPE IS MATCHING MATERIALS OR INFILL MATERIALS AS PART OF A RENOVATION PROJECT.
17. REMOVE ALL CEILINGS AND FLOOR FINISHES IN AREAS OF DEMOLITION U.N.O.
18. ALL EXISTING COLUMNS AND STRUCTURAL ELEMENTS TO REMAIN. ANY DISCREPANCIES THAT OCCUR IN THE FIELD DURING DEMOLITION SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION.
19. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE TO BROOM CLEAN AT ALL TIMES.
20. THE OWNER WILL MAINTAIN OCCUPANCY OF SPACES ADJACENT TO AREAS OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL POTENTIALLY DISRUPTIVE ACTIVITIES WITH THE OWNER.



0 BASEMENT DEMOLITION PLAN
A110 1/8" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
A110 1/8" = 1'-0"

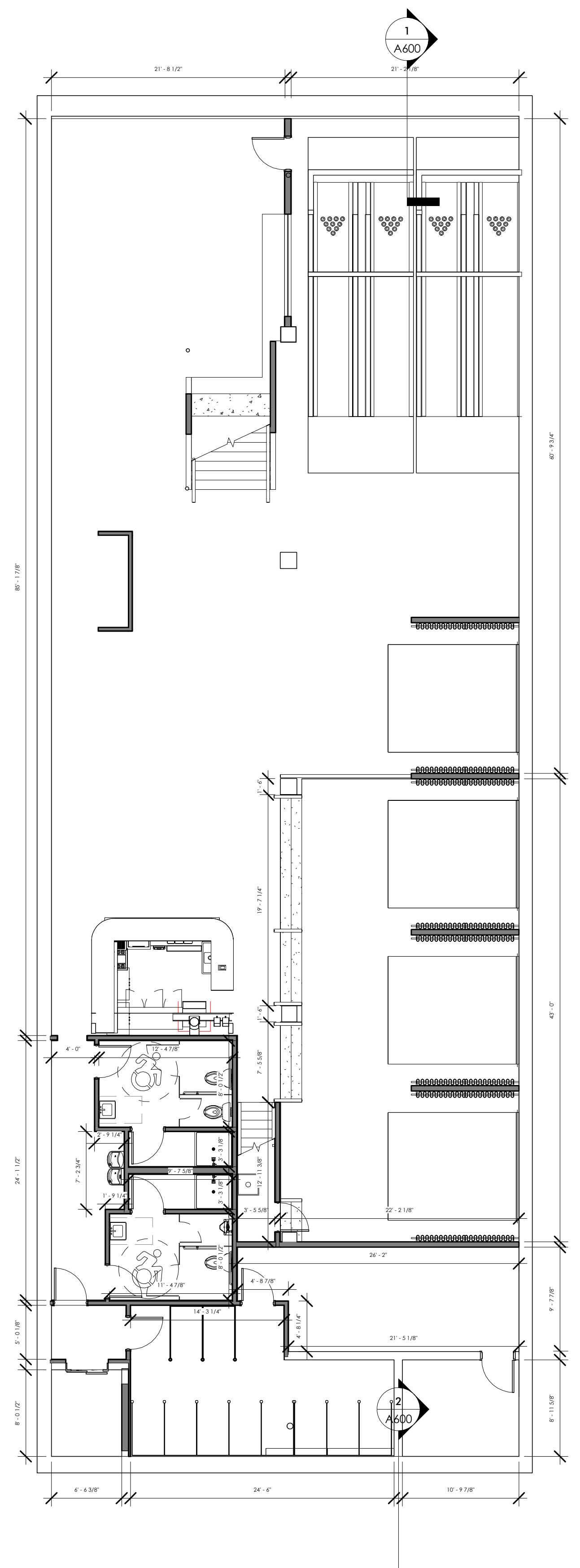


2 SECOND FLOOR DEMOLITION PLAN
A110 1/8" = 1'-0"

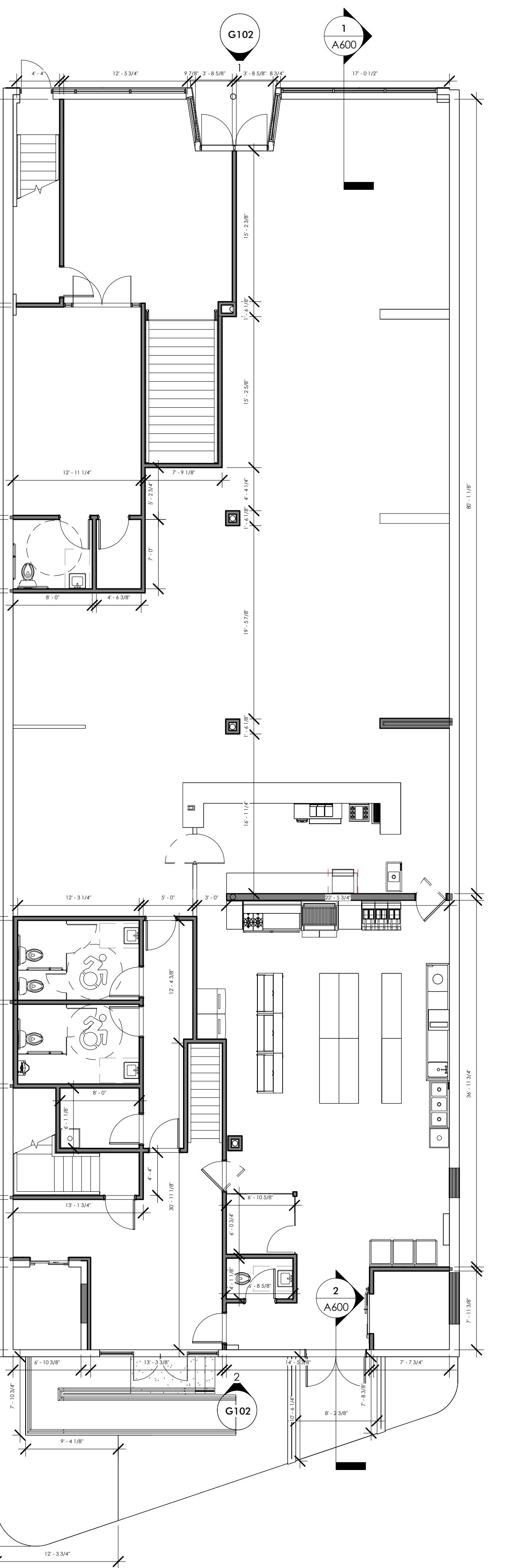
WALL LEGEND		MATERIAL LEGEND	
—	EXISTING WALL TO REMAIN	□	CMU
- - -	ELEMENTS TO BE REMOVED	—	CONCRETE
— (blue)	1 HOUR PARTITION	—	WOOD BLOCKING
— (red)	2 HOUR PARTITION	—	STEEL (LARGE SCALE)
—	EXTENT OF WORK	—	PLASTER
—		—	RIGID INSULATION
—		—	PLYWOOD
—		—	MILLWORK

GENERAL NOTES

- ALL GYPSUM BOARD THROUGHOUT IS TO BE 5/8" TYPE-X AS A MINIMUM.
- ALL EXISTING INTERIOR WALLS THAT ARE TO REMAIN ARE TO BE PATCHED AS REQUIRED FROM NEW UTILITIES OR GENERAL CONSTRUCTION.
- INFILL OF EXISTING WALL OPENINGS IS TO RESULT IN FLUSH FINISHES ON BOTH SIDES OF THE WALL. UNLESS OTHERWISE NOTED, USE APPROPRIATE STUD FRAMING TO ACHIEVE DESIRED FINISH.
- INSTALL WOOD BLOCKING IN WALLS AS NECESSARY FOR INSTALLATION OF ALL CASEWORK, MIRRORS, TOWEL BARS, SHOWER CURTAIN RODS, TOILET PAPER DISPENSERS, PAPER TOWEL HOLDERS, TOILET PARTITIONS, RAILINGS, AND ANY OTHER ACCESSORIES.
- PROVIDE 5/8" GYPSUM BOARD W/ KERDI MEMBRANE ON ALL WET WALLS IN BATHTUBS, SHOWERS, AND KITCHEN LOCATIONS TO RECEIVE TILE. COORDINATE WITH INTERIORS.
- DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
- COORDINATE SIZE AND LOCATION OF ALL EQUIPMENT SUPPORTS INCLUDING BUT NOT RESTRICTED TO CONCRETE HOUSEKEEPING PADS WITH APPROPRIATE EQUIPMENT MANUFACTURER.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR THE COMPLETION OF THE WORK. PROVIDE ALL LINTELS REQUIRED FOR THESE OPENINGS PER SPECIFICATIONS.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE.
- DIMENSIONS PRECEDED BY +/- SHOULD BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. NOTIFY ARCHITECT'S REPRESENTATIVE IF DISCREPANCIES ARISE BEFORE PROCEEDING WITH THE WORK.
- BATHROOM MIRRORS AND LIGHT FIXTURES ABOVE VANITIES SHALL BE CENTERED ON THE SINKS.



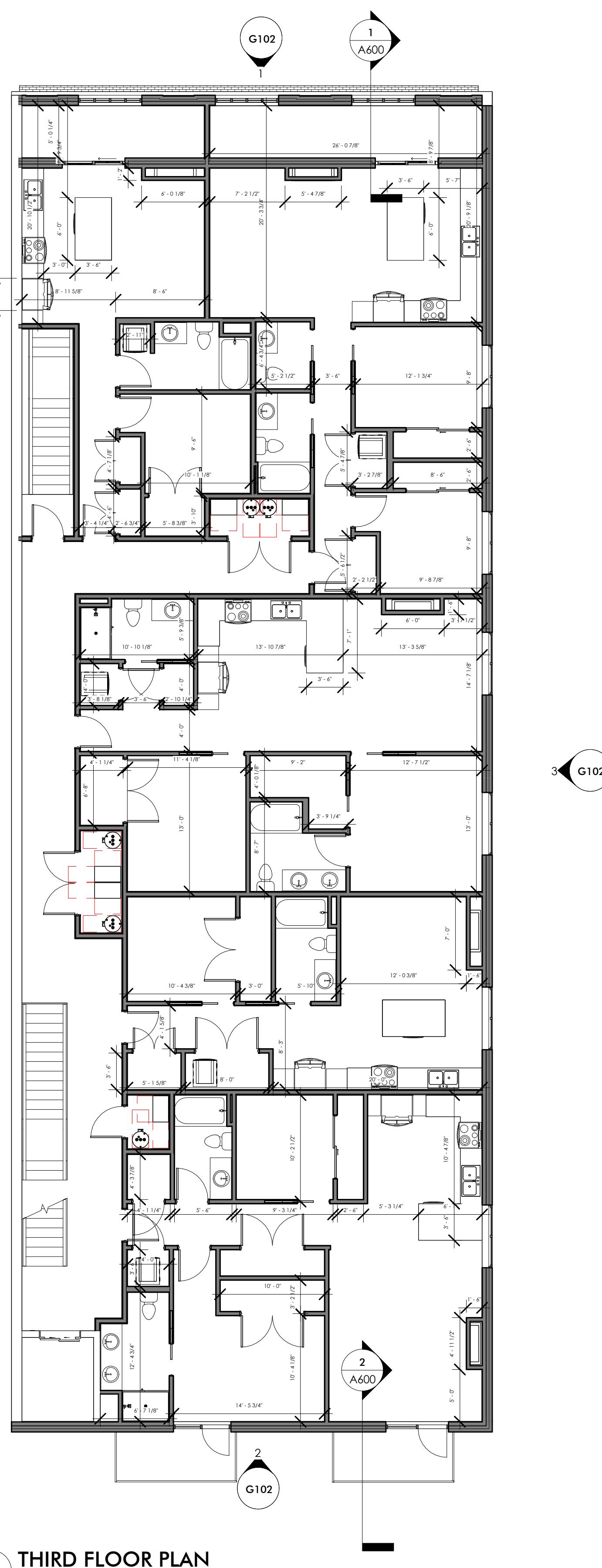
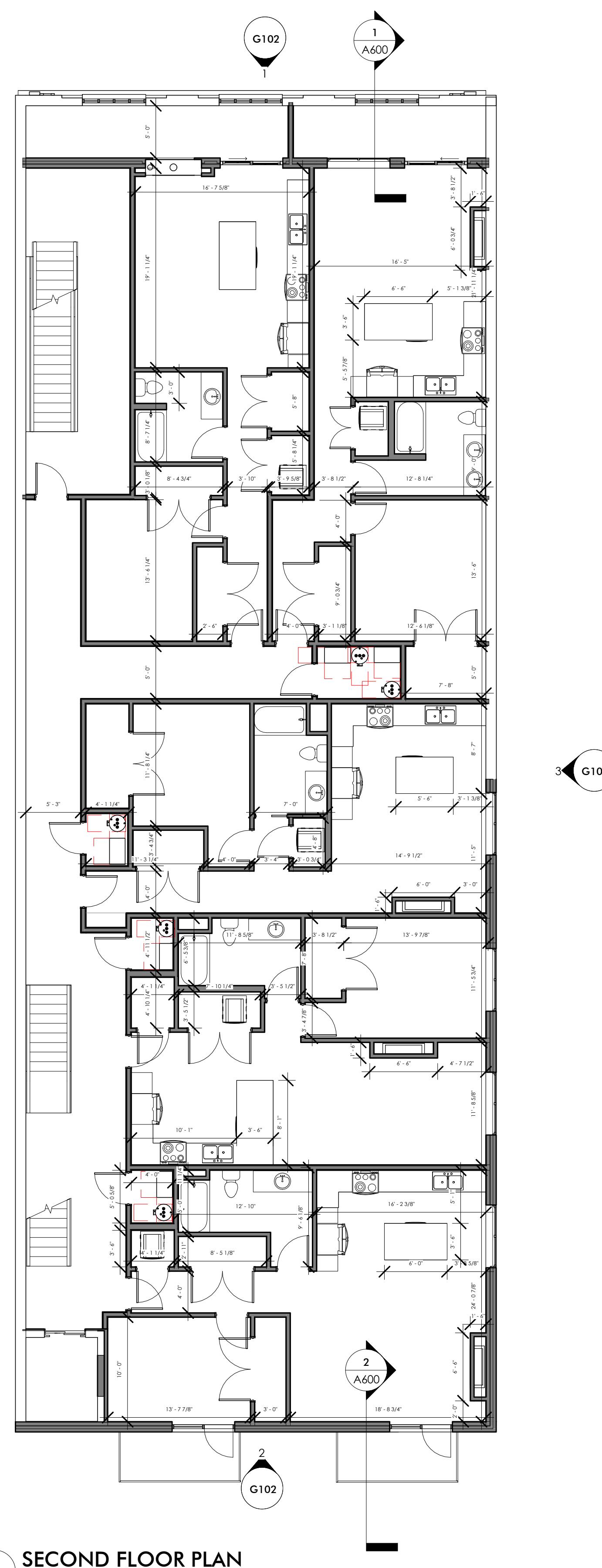
BASEMENT FLOOR PLAN
A121 1/8" = 1'-0"



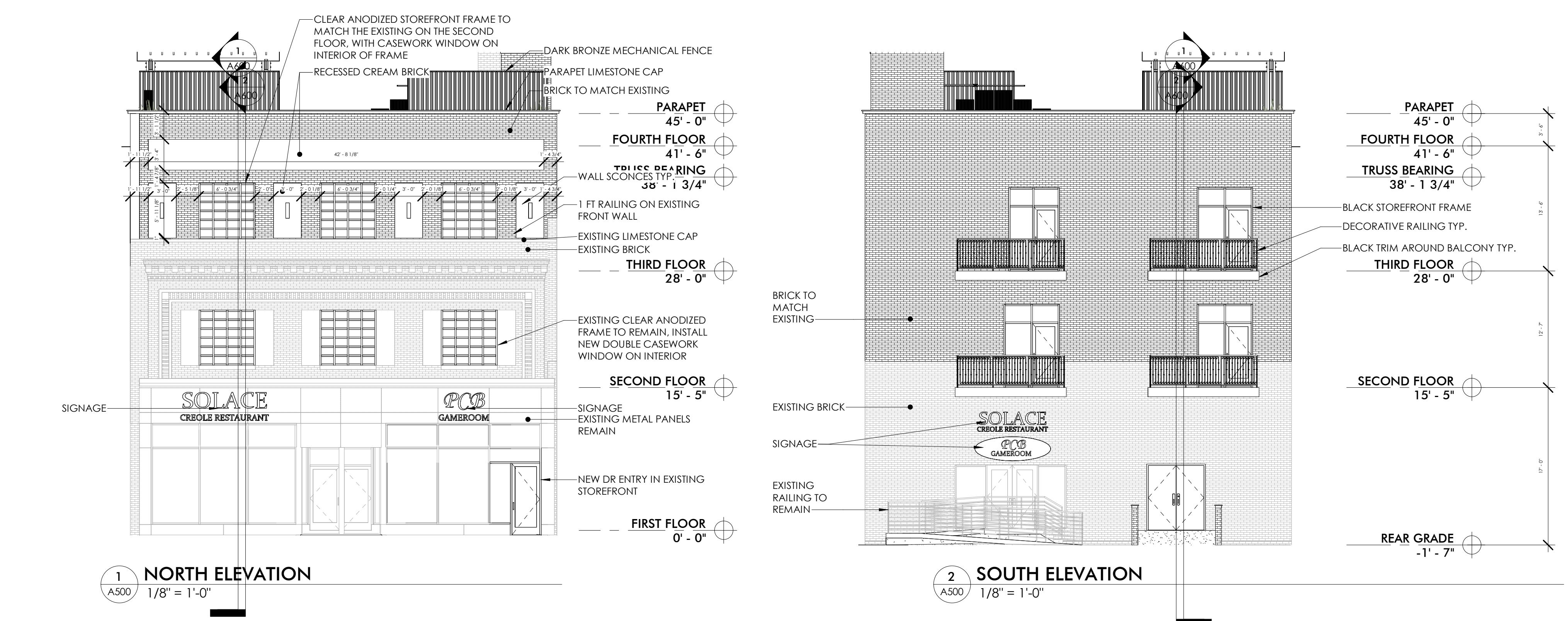
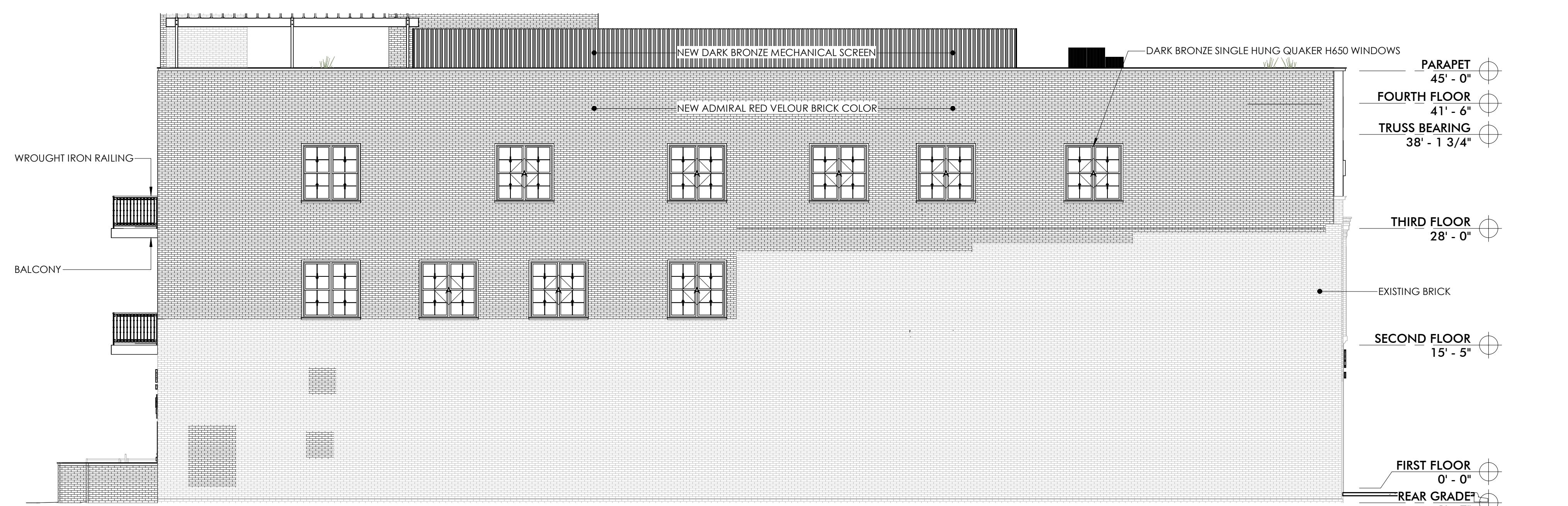
FIRST FLOOR PLAN
A121 1/8" = 1'-0"

GENERAL NOTES

- ALL GYPSUM BOARD THROUGHOUT IS TO BE 5/8" TYPE-X AS A MINIMUM.
- ALL EXISTING INTERIOR WALLS THAT ARE TO REMAIN ARE TO BE PATCHED AS REQUIRED FROM NEW UTILITIES OR GENERAL CONSTRUCTION.
- INFILL OF EXISTING WALL OPENINGS IS TO RESULT IN FLUSH FINISHES ON BOTH SIDES OF THE WALL. UNLESS OTHERWISE NOTED, USE APPROPRIATE STUD FRAMING TO ACHIEVE DESIRED FINISH.
- INSTALL WOOD BLOCKING IN WALLS AS NECESSARY FOR INSTALLATION OF ALL CASEWORK, MIRRORS, TOWEL BARS, SHOWER CURTAIN RODS, TOILET PAPER DISPENSERS, PAPER TOWEL HOLDERS, TOILET PARTITIONS, RAILINGS, AND ANY OTHER ACCESSORIES.
- PROVIDE 5/8" GYPSUM BOARD W/ KERDI MEMBRANE ON ALL WET WALLS IN BATHTUBS, SHOWERS, AND KITCHEN LOCATIONS TO RECEIVE TILE. COORDINATE WITH INTERIORS.
- DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
- COORDINATE SIZE AND LOCATION OF ALL EQUIPMENT SUPPORTS INCLUDING BUT NOT RESTRICTED TO CONCRETE HOUSEKEEPING PADS WITH APPROPRIATE EQUIPMENT MANUFACTURER.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR THE COMPLETION OF THE WORK. PROVIDE ALL LINTELS REQUIRED FOR THESE OPENINGS PER SPECIFICATIONS.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE.
- DIMENSIONS PRECEDED BY +/- SHOULD BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. NOTIFY ARCHITECT'S REPRESENTATIVE IF DISCREPANCIES ARISE BEFORE PROCEEDING WITH THE WORK.
- BATHROOM MIRRORS AND LIGHT FIXTURES ABOVE VANITIES SHALL BE CENTERED ON THE SINKS.



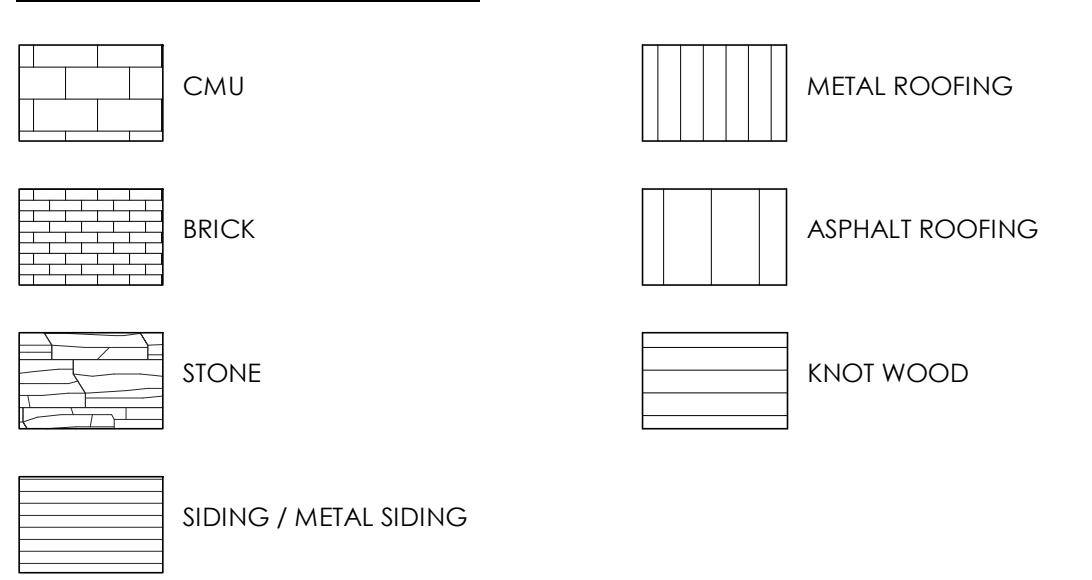
NOT FOR CONSTRUCTION



GENERAL NOTES

- REFER TO MATERIAL LEGEND FOR EXTERIOR FINISH PANEL TYPES AND COLOR.
- REFER TO MATERIAL LEGEND FOR ROOF TYPES AND COLOR.
- ALL GLAZING SHALL BE LOW-E GLASS, TINT TO BE RECOMMENDED BY MANUFACTURER.
- ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS NEED TO BE APPROVED IN WRITING.

EXTERIOR ELEVATION SYMBOL LEGEND



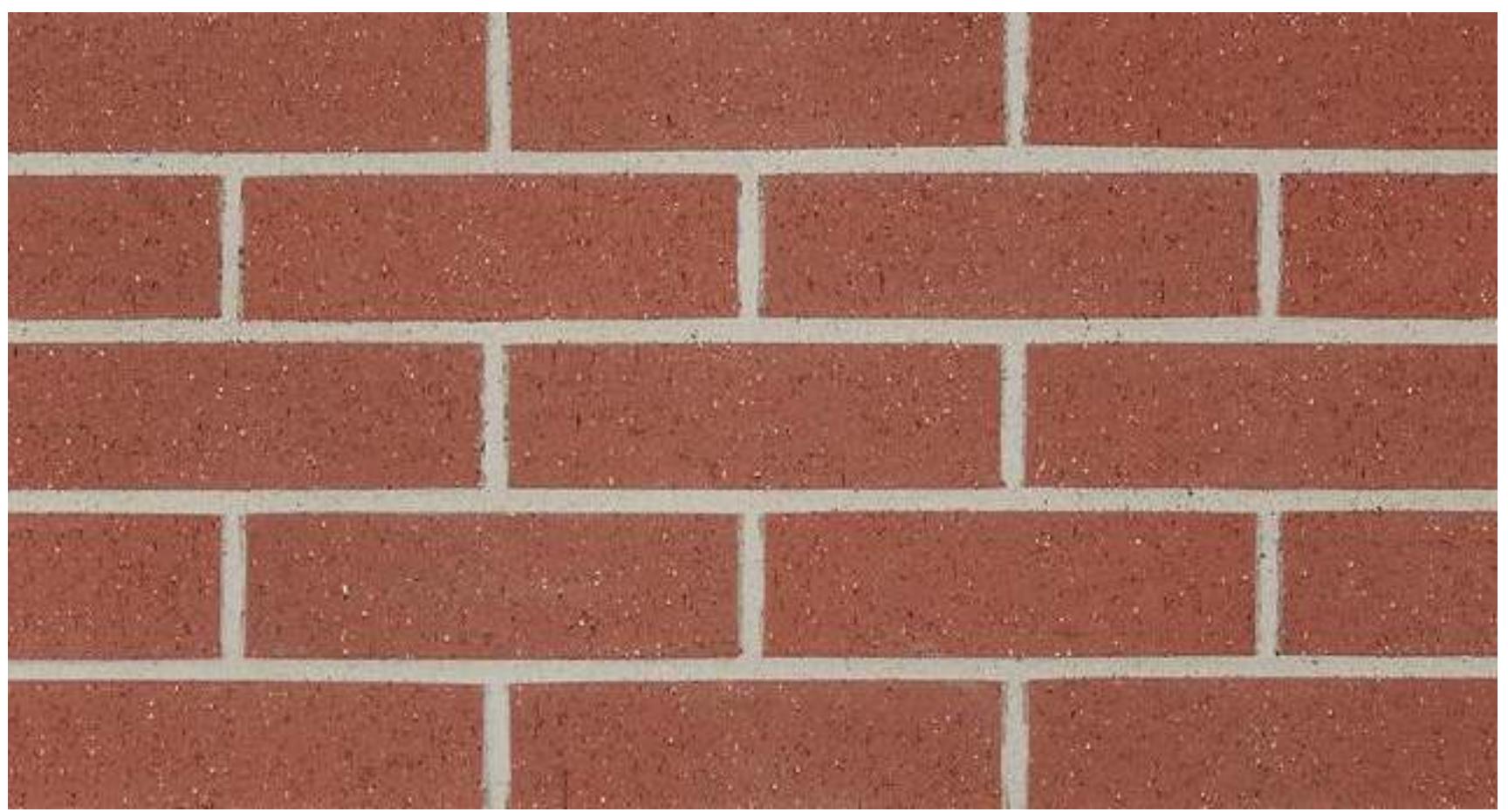
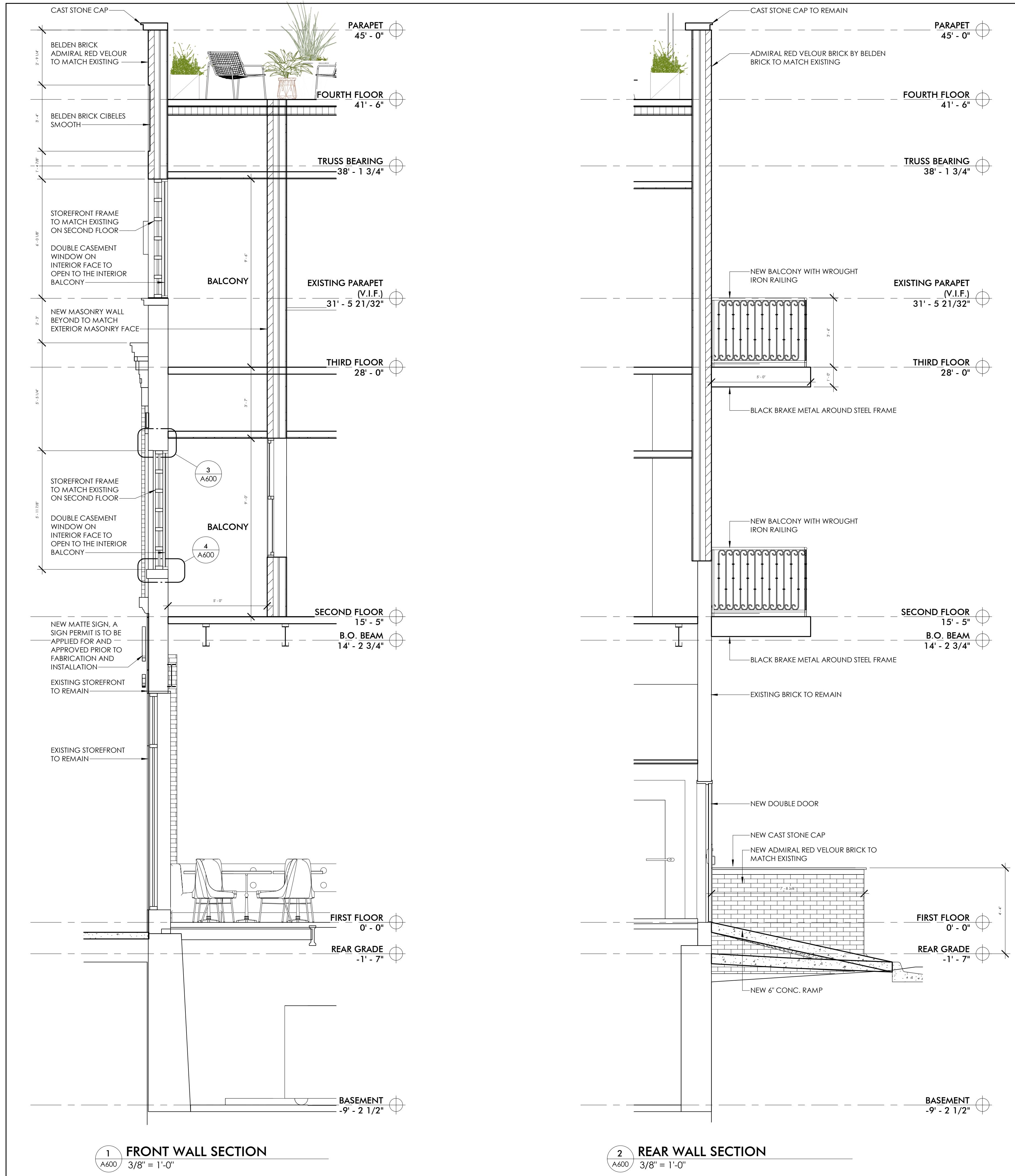
PROJECT NAME
 99 W. MICHIGAN
 PROJECT ADDRESS
 99 W. MICHIGAN AVE, BATTLE CREEK, MI
 49017

ISSUE
 SCHEMATIC DESIGN

DRAWN BY CMN
 DATE 1/7/2025 6:23:18 AM
 SCALE As indicated
 STAMP

PROJECT NUMBER
 2024.095
 EXTERIOR ELEVATIONS

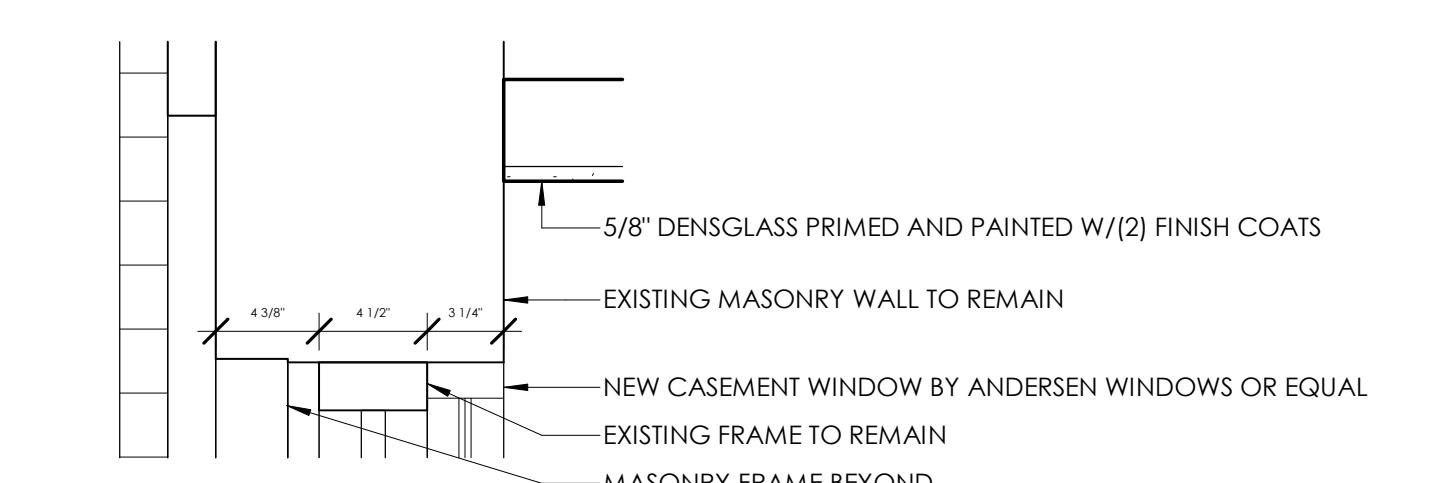
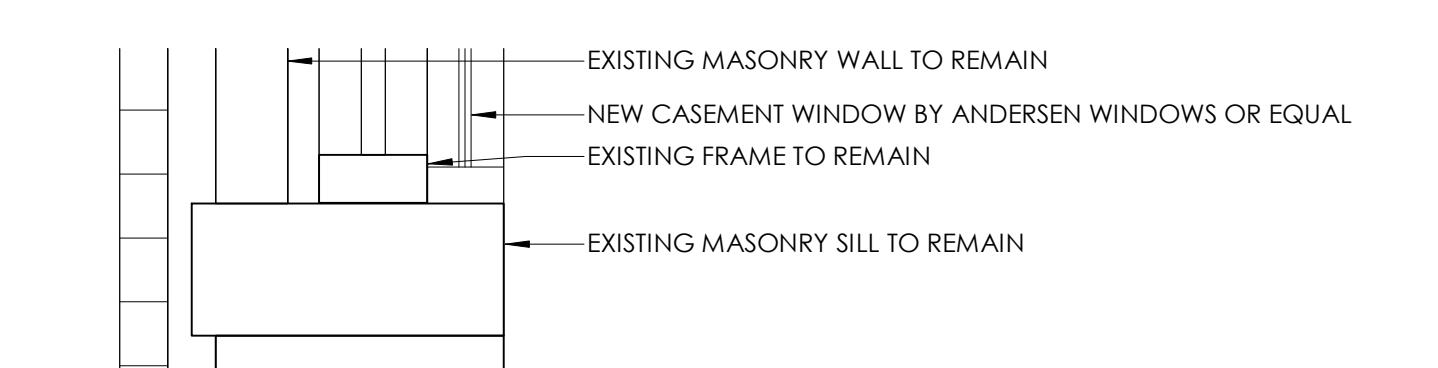
A500



ADMIRAL RED VELOUR BRICK COLOR



CIBELES BRICK COLOR

HEAD DETAIL
A600 1 1/2" = 1'-0"SILL DETAIL
A600 1 1/2" = 1'-0"

DRIVEN DESIGN

ARCHITECTURE/INTERIOR DESIGN
Driven Design Studio PLLC
117 West Michigan Avenue
Battle Creek, MI 49017
(269) 753-8040
cody@drivendesignstudio.com

OWNER
Norman Holdings LLC
99 W. Michigan Avenue
Battle Creek, MI

CONSTRUCTION MANAGER/GC

ENGINEER
Ignite Design
38 Commerce Street
Grand Rapids, MI

ENGINEER

ENGINEER

THIS DOCUMENT IS THE EXCLUSIVE PROPERTY OF DRIVEN DESIGN. THE DOCUMENT & THE INFORMATION IT CONTAINS MAY NOT BE REPRODUCED OR USED FOR OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF DRIVEN DESIGN.

NOT FOR CONSTRUCTION

PROJECT NAME
99 W. MICHIGAN
PROJECT ADDRESS
99 W. MICHIGAN AVE, BATTLE CREEK, MI
49017

ISSUE
SCHEMATIC DESIGN

DRAWN BY CMN
DATE 1/7/2025 6:23:19 AM
SCALE As indicated
STAMP

PROJECT NUMBER
2024.095

BUILDING SECTIONS
A600



Battle Creek Historic District Commission

Staff Report

238 Capital Ave. NE

Meeting: January 13, 2025

To: Historic District Commission

From: Travis Sullivan, Planning and Zoning Administrator

Date: January 3, 2025

Subject: The petition, filed by Donald McClellan, for a Certificate of Appropriateness for the property at 238 Capital Ave. NE for the construction of a 14-car carport for residential use, the reconstruction of the front sidewalk leading to the entryway, and replacement of the front stairs with formal painted concrete.

Summary

The applicant is proposing the addition of a 14-car carport near the southwest corner of the property, along with the reconstruction of the existing front sidewalk and front stairs to the building.

The subject site is located at 238 Capital Ave NE, between Penn St. and Elm St., within the Old Maple Street local and national historic district. The subject property consists of a 6,722 sq. ft. two-story single-family home constructed in 1866, with an addition constructed in 1919. The building is currently being used as a residential property with multiple units. The building on the site has been the subject of multiple Certificate of Appropriateness applications over the past four years, including the 2021 approval of new roofing, siding, insulated walls, and repair and replacement of multiple windows, additional new windows in 2022, additional roofing and siding replacement in 2023, and the removal of the asphalt roofs shingles in 2024 and replacement with metal replicas of the original Spanish-style barrel roofing tiles. The applicant stated at the time of the 2024 application that the original tiles were constructed of a clay or ceramic material, which is susceptible to damage and failure as a result of water absorption and subsequent freezing during the winter months. The metal material used provides a more durable option while providing an almost identical aesthetic replication.

Site & History

The subject site is located at 238 Capital Ave NE (Parcel #3870-00-008-0), between Penn St and Elm St within the Old Maple Street local and national historic district.

According to the applicant, the subject building was originally constructed and associated with Mr. Charles W Post, the owner of the Post cereal company. The building underwent numerous additions and renovations in the early 1900's, and was sold to local prominent business owners of the time. The building was later converted from a large single-family residence into an international health resort.

Sometime in the 1930's, the building was further converted into a multiple-family apartment building, with the site continuing to serve today as 14 multiple-family dwelling units.

Figure 1 below provides an aerial view of the site, and Figure 2 below displays a street-level depiction.

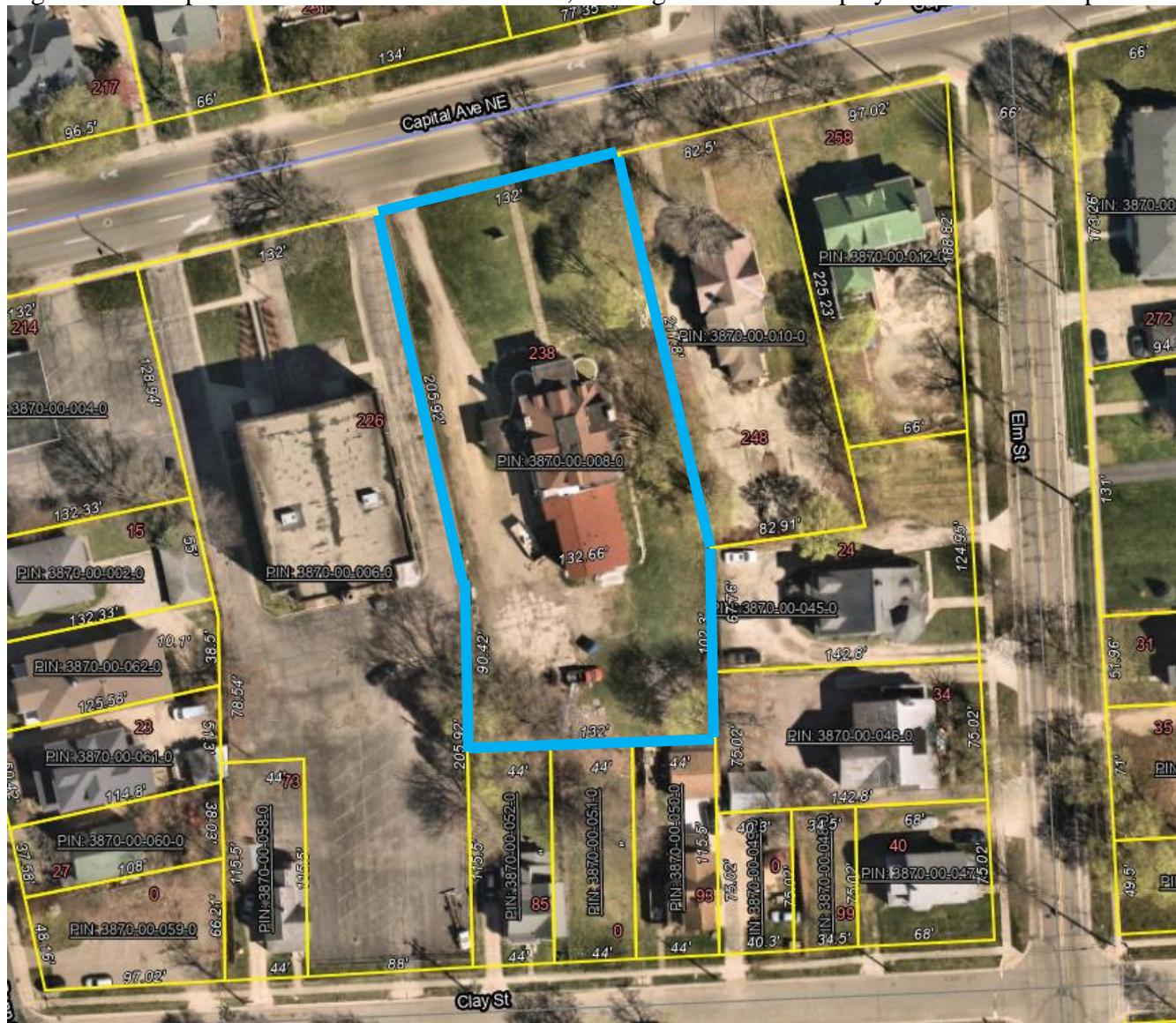


Figure 1: The thick blue outline shows the boundaries of the subject site at 238 Capital Ave NE. Photo courtesy of Nearmap.



Figure 2: Street view of the subject structure at 238 Capital Ave. NE, August 2024. The proposed carport would be constructed at the southwest end of the property in the area behind the porte-cochere off of the west side of the building. Photo courtesy of Google Street View.

Summary of Request

The applicant has filed the subject HDC Certificate of Appropriateness application for the construction of a new 14-car carport near the southwest corner of the property, as well as the reconstruction of the sidewalk leading to the front entrance to the building, and the replacement of the front stairs with formed and poured concrete.

The applicant has stated in the email attached to this staff report that the intent is to utilize the same red Spanish-style “barrel tile” roofing material (photo attached) that was installed in 2024 on the main structure, and is proposing the use of a green lapboard siding material on the building (the HDC may wish to seek further details regarding the material composition of the proposed lapboard). The applicant is proposing that the carport run 70 feet towards to the rear of the lot and at a right angle for 70 feet along the rear edge of the lot (west to east), in the southwest corner of the lot (forming an “L” shape). The applicant is further proposing the replacement of the deteriorated concrete sidewalk, and to trim the sidewalk with a cobblestone material in an attempt to replicate the brick feature which provided the original trim. Finally, the applicant is proposing the reconstruction of the concrete steps on the front of

the building to match the original appearance, with variations to allow the steps to meet the current building code requirements. Attached to this report are two historical photos of the building in which the front steps are visible, as well as a present day photo provided by the applicant which shows the existing deteriorated steps in need of replacement.

It should be noted by the Historic District Commission (HDC) that the proposed carport will be required to meet all dimensional requirements of various sections of the City's zoning ordinance, including the required 20-foot rear yard setback for all buildings (including accessory buildings) associated with multiple-family uses within the T-3 Neighborhood Commercial zoning district. Because this property abuts a commercial use to the west, no side setback is required along the west lot line.

Applicable HDC Guidelines and Analysis for a Certificate of Appropriateness for Building Renovations and Additions at 238 Capital Ave. NE

This property is reviewed in accordance with City of Battle Creek Building and Housing Code Chapter 1470 "Historic Preservation", as amended, the Michigan Local Historic Districts Act, as amended, and the criteria for the National Register of Historic Places as outlined in the Secretary of the Interior's Standards and Guidelines.

Specifically, the Commission shall follow Section 1470.09 *Review of Applications*, as follows:

(b) The Commission shall also consider all of the following:

- (1) The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.***
- (2) The relationship of any architectural features of the resource to the rest of the resource and the surrounding area.***
- (3) The general compatibility of the design, arrangement, texture, and materials proposed to be used.***
- (4) Other factors, such as aesthetic value that the Commission finds relevant.***

(c) The Historic District Commission shall review and act upon only exterior features of a resource and shall not review and act upon interior arrangements...

And

1470.17 PRESERVATION OF HISTORIC FEATURES.

- (a) Every reasonable effort shall be made to provide a compatible use for a resource which requires minimal alteration of the building, structure or site and its environment, or to use the resource for its originally intended purpose.***

Staff finds that the addition of a new carport, the reconstruction of the front sidewalk and the reconstruction of the front steps to the building would result in

minimal (or no) alteration to the existing building or to the use of the resource for its intended purpose. The proposed changes, however, would result in an alteration to the visual environment of the resource, particularly with regard to the proposed 14-car carport to be located near the southwest corner of the lot. While the proposed carport would be toward the rear of the building and mostly behind the porte-cochere off of the west side of the building, the proposed new carport will likely impact the visual environment, as observed from the street. In conversations regarding this application, the applicant has expressed a willingness to provide flexibility should the Commission have concerns regarding the proposed size of the carport.

It is worth noting that one of the historical photos attached to this packet (black and white photo from the Willard Library Collection) appears to indicate the existence of a large garage/carriage house near the proposed location of the new carport. Additionally, a cement pad is visible in the aerial photo included in this report upon which such a building likely stood in the past (the pad measures roughly 62' x 48', using GIS measuring tools). The previous existence of a building of this nature may provide some historical context for the structure the applicant is seeking to construct in this application.

The Commission may find this standard to be met, pending discussion regarding the proposed size and scale of the building. Specifically, the Commission may wish to seek details from the applicant regarding the proposed height of the structure.

- (b) *The distinguishing original qualities or character of a resource and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.*

Staff finds that no distinguishing original qualities or character of the existing resource and its environment would be destroyed as a result of this proposal, nor would any historic material or distinctive architectural features be removed or altered.

The Commission may find this standard to be met.

- (c) *All resources shall be recognized as products of their own time. Alterations that have no historic basis and which seek to create an earlier appearance shall be discouraged.*

The applicant is proposing the use of a green lapboard siding material on the proposed carport, as well as metal Spanish-style barrel tile roofing material matching the roofing on the existing home.

It may be prudent for the Commission to entertain discussion of the proposed roofing material. While the existing roofing on a majority of the existing main building serves as a replication of the original clay or ceramic Spanish barrel tiles, metal tiling of this nature could also be considered more of contemporary

material, as the material is still utilized from time to time in the construction of contemporary, modern buildings. In this way, it may be viewed that the proposed use of this roofing material for the proposed carport does not represent an attempt to create earlier appearance. However, with regard to the new construction or additions to existing resources, it is also important to differentiate the aesthetic qualities of a proposed addition from those of the original, existing resource.

It may also be prudent for the Commission to seek further details regarding the proposed material composition of the green lapboard siding proposed to be applied to the carport.

The proposed reconstruction of the existing sidewalk and front steps does not attempt to create an earlier appearance. The proposed use of a cobblestone material to trim the sidewalk, according to the applicant, replicates the original brick trimming of the sidewalk.

The Commission may find this standard to be met, provided that Commissioners are satisfied with discussion regarding the proposed roofing and siding materials.

- (d) *Changes which may have taken place in the course of time are evidence of the history and development of a resource and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.*

The proposed addition of a new carport and the reconstruction of the front sidewalk and steps does not represent a change in any characteristic of the resource which may have acquired significance in its own right.

The Commission may find this standard to be met.

- (e) *Distinctive stylistic features or examples of skilled craftsmanship which characterize a resource shall be treated with sensitivity.*

The proposed work does not involve the alteration of any stylistic features or examples of skilled craftsmanship which characterize the existing resource.

The Commission may find this standard to be met.

- (f) *Deteriorated architectural features shall be repaired rather than replaced wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other resources.*

The proposed work does not involve the repair or replacement of any deteriorated architectural features of the original resource. While the replacement of the

existing front steps are proposed, the steps in and of themselves are simply of a concrete construction, with no distinguishing architectural features present. The applicant is seeking to replicate the existing design while meeting the current building code requirements.

The Commission may find this standard to be met.

- (g) ***The surface cleaning of resources shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic materials shall not be undertaken.***

No surface cleaning of the resource on the subject site is being proposed.

The Commission may find this standard to be met.

- (h) ***Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.***

It is anticipated that an extensive amount of groundwork will likely be involved with the proposed restoration of and addition to the site. Staff would recommend as a condition of approval that should any archaeological resources be discovered during the construction process, that any such material be preserved and reported to the City.

The Commission may find this standard to be met, with the above referenced condition.

- (i) ***Contemporary design for alterations and additions to existing resources shall not be discouraged when such alterations and additions do not destroy significant historic, architectural or cultural material and when such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.***

Contemporary design for the proposed reconstruction of the front sidewalk and steps and the construction of a new 14-car carport are not anticipated to destroy any significant historic, architectural or cultural material. However, it is recommended that the Commission entertain a discussion regarding the proposed 70' x 70' size of the carport, given the relative lack of similarly sized accessory buildings within the surrounding neighborhood. It will also be important for Commissioners to note the existence of what appears to be a large garage / carriage house structure present in the historical photo of the property from the Willard Library Collection (attached to this report). Commissioners will also want to seek specifics regarding the proposed height of the building.

The Commission may find this standard to be met, provided that Commissioners are satisfied with the proposed size and scale of the building. In discussion of the size of the proposed building, it is also important to note that a 20-foot rear yard setback will need to be maintained in order to meet current zoning requirements

within the T-3 zoning district. Please refer to the aerial photo attached to this report which displays in blue a line extending 90 feet north from the south lot line, which depicts the required 90 feet of space needed to accommodate the proposed 70-foot deep carport plus the required 20-foot setback from the rear lot line.

(j) *Whenever possible, new additions or alterations to resources shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the resource would not be impaired.*

The proposed work on the resource does not include an addition or alteration which, if removed in the future, would impair the essential form and integrity of the resource.

The Commission may find this standard to be met.

Recommendation

The applicant's proposed addition of a 70' x 70' carport to the southwest portion of the property, while leaving the existing building unaffected, would represent a significant alteration to the property itself. As has been discussed in this report, Commissioners may wish to discuss specifics regarding the proposed size of the building, the material composition of the proposed siding, and the proposed roofing material (as it relates to differentiation of the proposed new building from the existing building on the property, as well as the whether the proposed roofing material constitutes a "contemporary" building material, versus an attempt to replicate what could be considered a historical feature of the existing resource (and thus perhaps the creation of an earlier sense of time with regard to the proposed carport).

The applicant's proposed reconstruction of the existing front sidewalk and steps, in staff's analysis, meets the requirements of Chapter 1470 and the Secretary of the Interior's Standards for Rehabilitation.

Therefore, planning staff recommends approval of a Certificate of Appropriateness for the addition of a new carport and the reconstruction of the existing front sidewalk and steps as detailed in this report and the subject application at 238 Capital Ave. NE, as the request meets the standards outlined in Section 1470.09 "Review of Applications," Section 1470.17 "Preservation of Historic Features" and the Secretary of the Interior's Standards and Guidelines, as outlined in the staff report, with the following conditions:

- 1. That any archaeological material discovered during the construction process be preserved and reported to the City.**
- 2. That following discussion and consideration by the HDC, the proposed size, scale and material composition of the carport meet expectations of the HDC and the requirements of Chapter 1470 (Historic Preservation) and the Secretary of the Interior's Standards for Rehabilitation.**

Support Material

Historic District Commission Application
Supplementary Photos



City of Battle Creek

Department of Planning and Community Development
10 N. Division Street, Ste. 117 • Battle Creek, Michigan 49014
Phone: (269) 966-3320 • www.battlecreekmi.gov

HISTORIC DISTRICT COMMISSION

Application for:

Certificate of Appropriateness (for repairs or rehab projects)
 Notice to Proceed (for demolition requests)
 Minor Class of Work (admin approval)

Petition No. H01-25

Date Received: 12-26-2024

APPLICANT**

NAME: Donald McClellan
 ADDRESS: #1-561- #1-561- Garrison Rd B.C.
 PHONE: 269-217-7999 FAX: _____
 EMAIL: info@dmcclellanconsulting.com

OWNER (if different from applicant)

NAME: AEDENCO LLC
 ADDRESS: #1-561- Garrison Rd Battle Creek MI 49019
 PHONE: 269-217-7999 FAX: _____
 EMAIL: AEDENCO@Hotmail.com

**If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.

SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 258 1/2 Capital Ave. BC.

Current use of the property: Residential

List existing structures on the property and the approximate age of each. House 1846.

Please list all activities/proposed work for the property area and how the proposed work relates to the building as a whole.

- Construct Garage for residence (14 cars)
- Reconstruct sidewalk
- Replace stairs with formed & cured concrete

City of Battle Creek Department of Planning and Community Development
10 N. Division Street, Suite 117 • Battle Creek, Michigan 49014 • (269) 966-3320

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application.

No changes currently exist.

Does the work proposed include maintenance/repair of existing features of the structure, or will it create new features that do not currently exist?

Maintenance & repair

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application.

	Existing Materials	Proposed Materials (if applicable)
Roof	_____	_____
Windows	_____	_____
Siding	_____	_____
Foundation	_____	_____
Other <input checked="" type="checkbox"/>	<u>Stone</u>	<u>Formed & Pierced Concrete</u>

For Notice To Proceed requests only:

What options have you explored for the repair or relocation of the structure proposed for demolition?

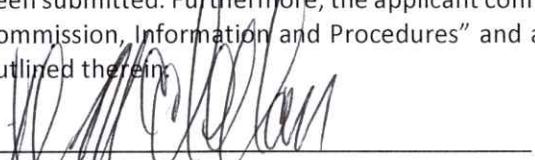
SUBMITTAL REQUIREMENTS

As outlined in "HDC, Information and Procedure", each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application; incomplete applications will not be forwarded to the Historic District Commission.

APPLICANT SIGNATURE

By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined therein.

Name



Date

December 26, 2024



238 NE Capital Ave ,Battle Creek

From Donald McClellan <AEDENCO@hotmail.com>

Date Sat 12/28/2024 3:03 PM

To Travis A. Sullivan <tasullivan@battlecreekmi.gov>; Darcy Schmitt <dcschmitt@battlecreekmi.gov>

3 attachments (18 MB)

IMG_7547.JPG; IMG_7554.JPG; IMG_4055.JPG;

Email sent from outside of the City of Battle Creek. Use caution before clicking links/attachments.
Travis

Our intention is to roof the Carport with "Barrel Tile " material which we recently installed onto the main structure. The visible siding will be lapboard (Green).

The plan is to have the carport run 70 feet towards the rear of the lot and at a right angle 70' along the rear edge of the lot(West to East)The configuration will provide 14 stalls ,one for each apartment unit . Open visitor parking will be provided for in another location.

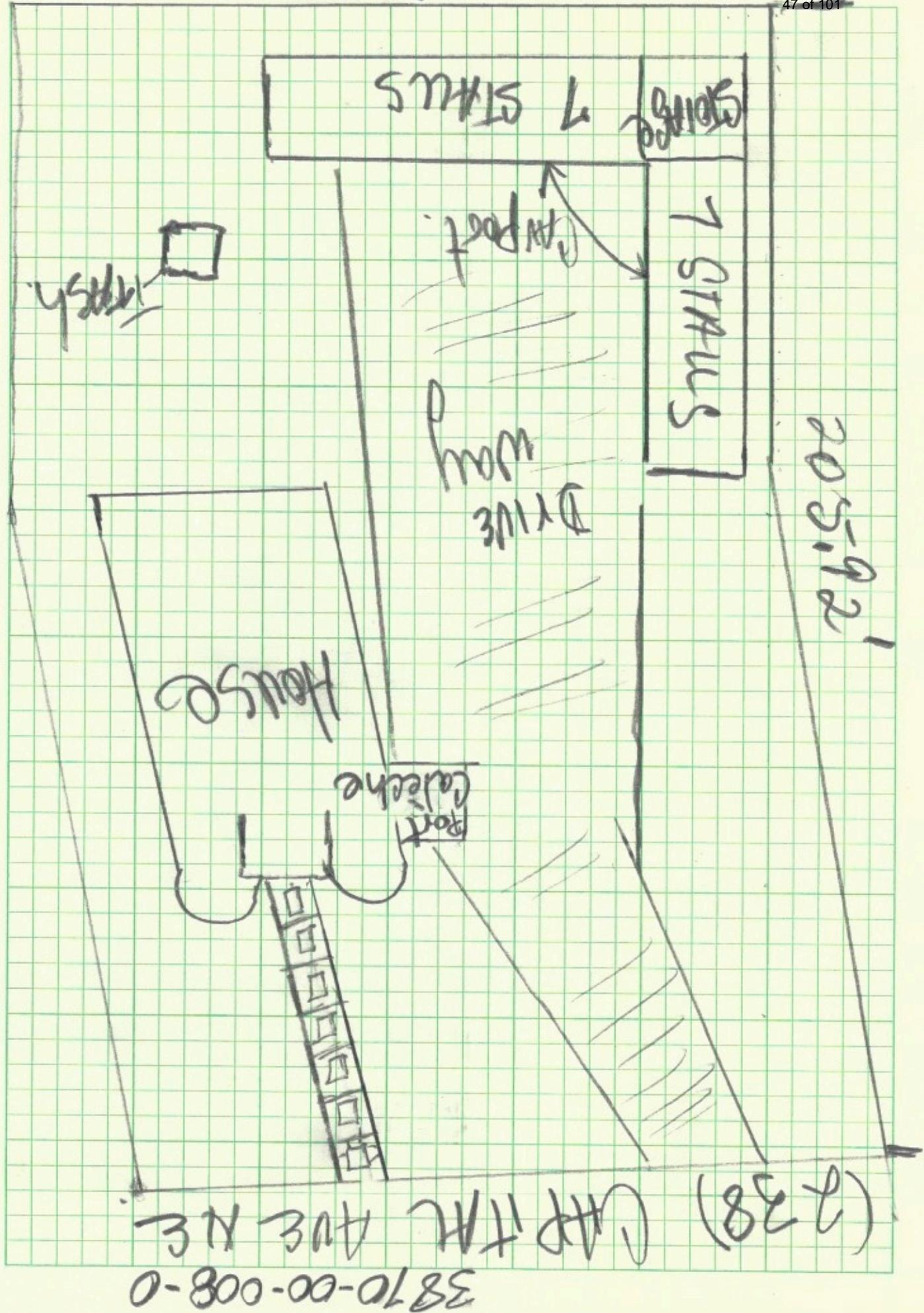
I have attached a couple of photos of the existing walkway. The first shows some tails of brick ,originally trimming the walk. I have access to cobblestone which will be utilized to again trim the walkway.

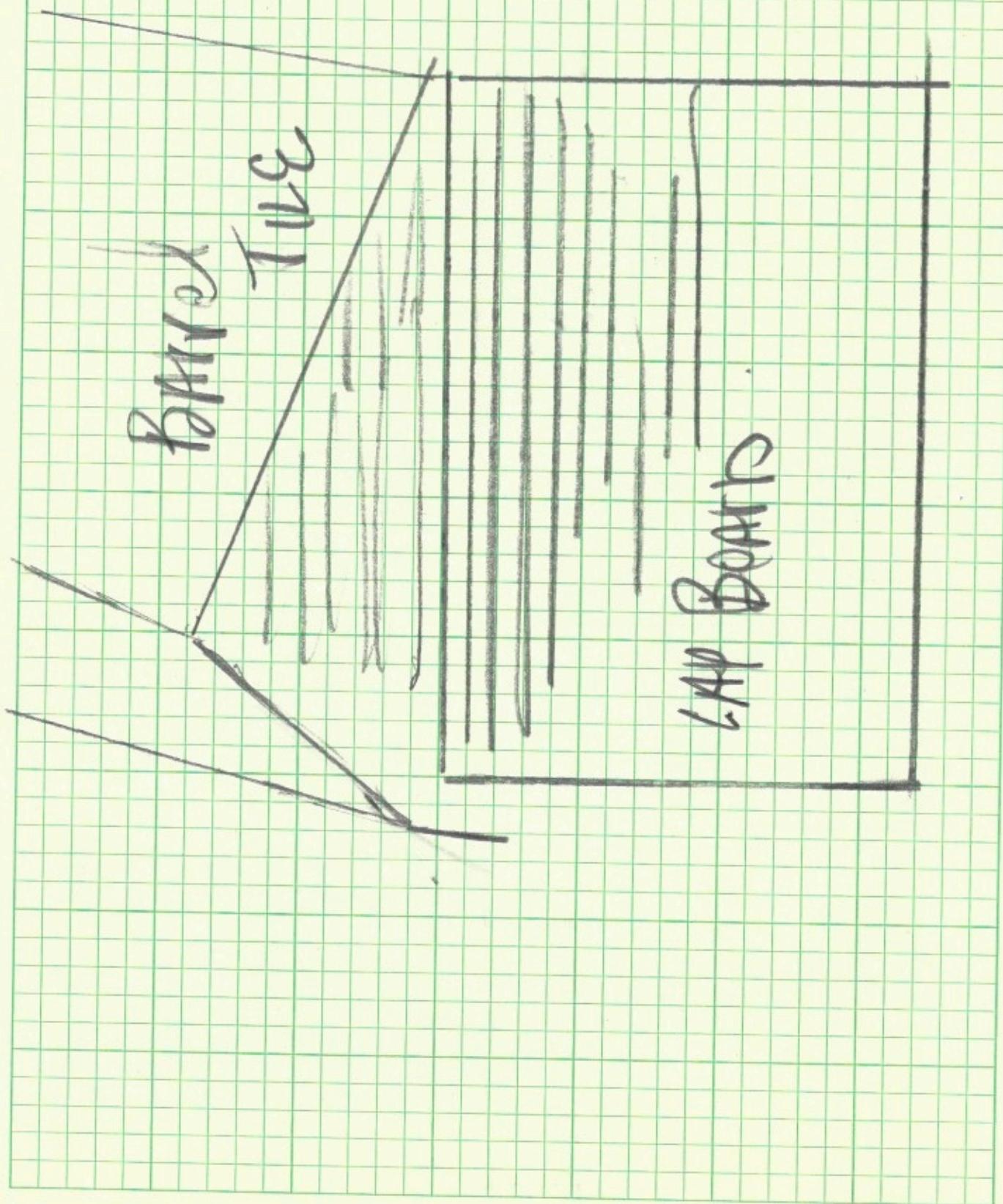
The stairs will match the original appearance ,with variations to allow for code upgrades.

I look forward to meeting the Commision on January 13,2025 and answer any questions that they may put forward.

Respectfully

Donald McClellan
Aedenco LLC
269-217-7999



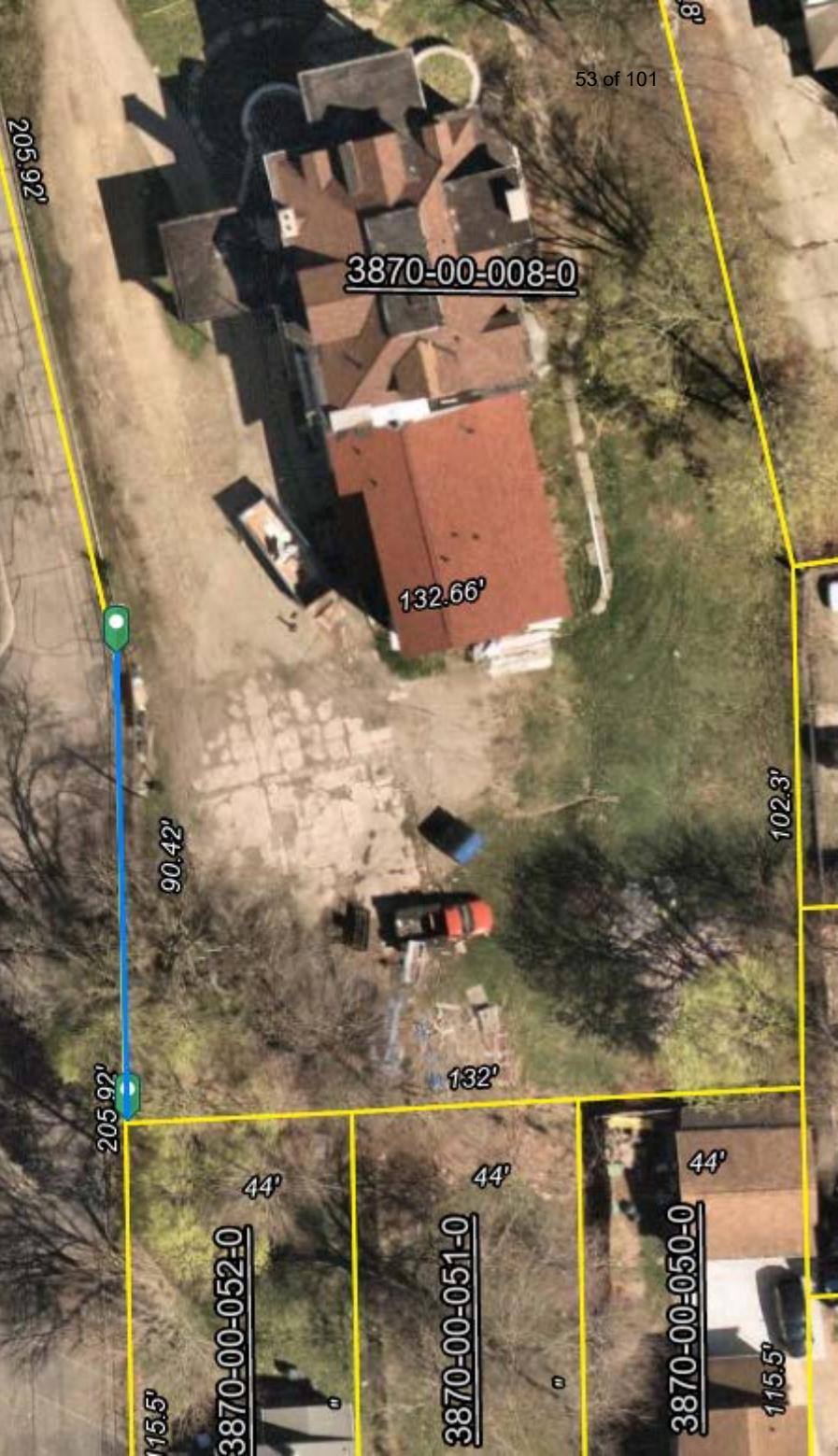
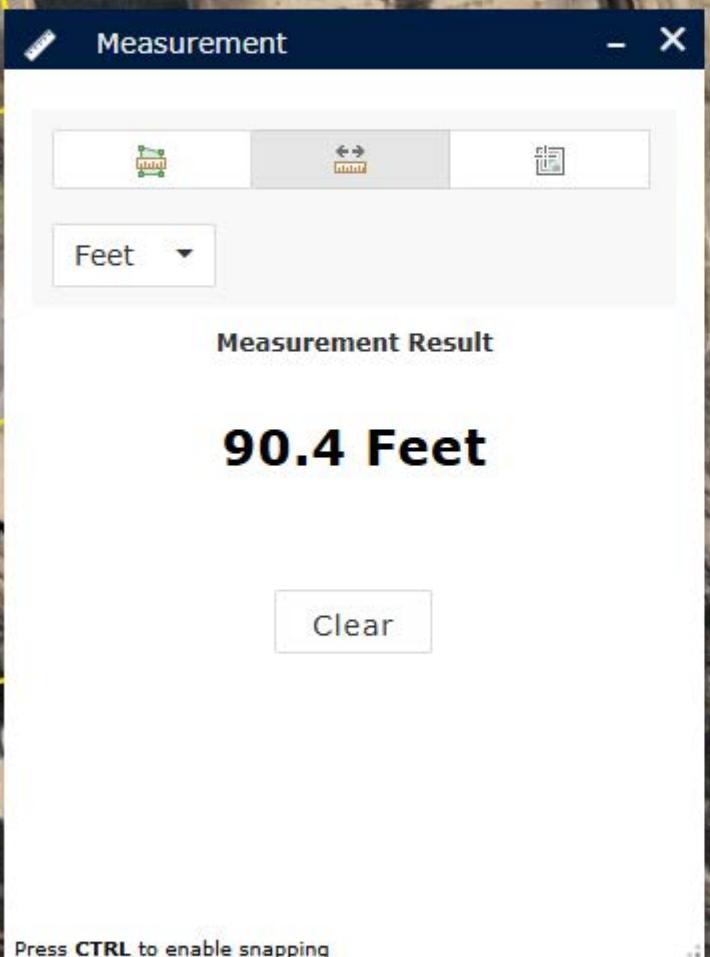














Battle Creek Historic District Commission

Staff Report

252 Chestnut St

Meeting: January 13, 2025

To: Historic District Commission

From: Travis Sullivan, Planning and Zoning Administrator

Date: January 2, 2025

Subject: The petition, filed by Rick Olmstead on behalf of Jessica Scott, for the removal and replacement of roofing, to include the replacement of 3 tab asphalt shingles for architectural asphalt shingles and the replacement of the copper flat roofing on the north and south ends of the home with EPDM flat roofing with a copper drip edge.

Summary

Staff recommends approval of the subject petition at 252 Chestnut St (Parcel #5390-00-014-0), as the proposed roofing replacement meets the standards outlined in Chapter 1470.09 "Review of Applications," Chapter 1470.17 "Preservation of Historic Features," and the Secretary of the Interior's Standards and Guidelines.

Site & History

The subject site is located at 252 Chestnut St (Parcel #5390-00-014-0), between Chestnut St to the west, Merwood Dr to the south and Woodmer Ln to the north and east within the Merritt's Woods local historic district. The Merritt's Woods District encompasses a purely residential district of distinct residences constructed primarily in the 1930's, and is located northeast of the city center. While not independently included in the National Register of Historic Places, the subject site does fall within the federally listed Merritt's Woods Historic District, as verified by staff on January 2, 2025.

The subject site consists of a 2,184 sq. ft. single-family home, constructed in 1935. According to information contained within the City's BS&A system, the site has not been the subject of any prior applications for Certificates of Approval.

Figure 1 provides an aerial view of the subject site. Figure 2 provides street level views of the subject site.



Figure 1: Orange pin on aerial points to subject site (252 Chestnut St). The thick yellow outline shows the boundary of the subject parcel. Photo courtesy of Nearmap.

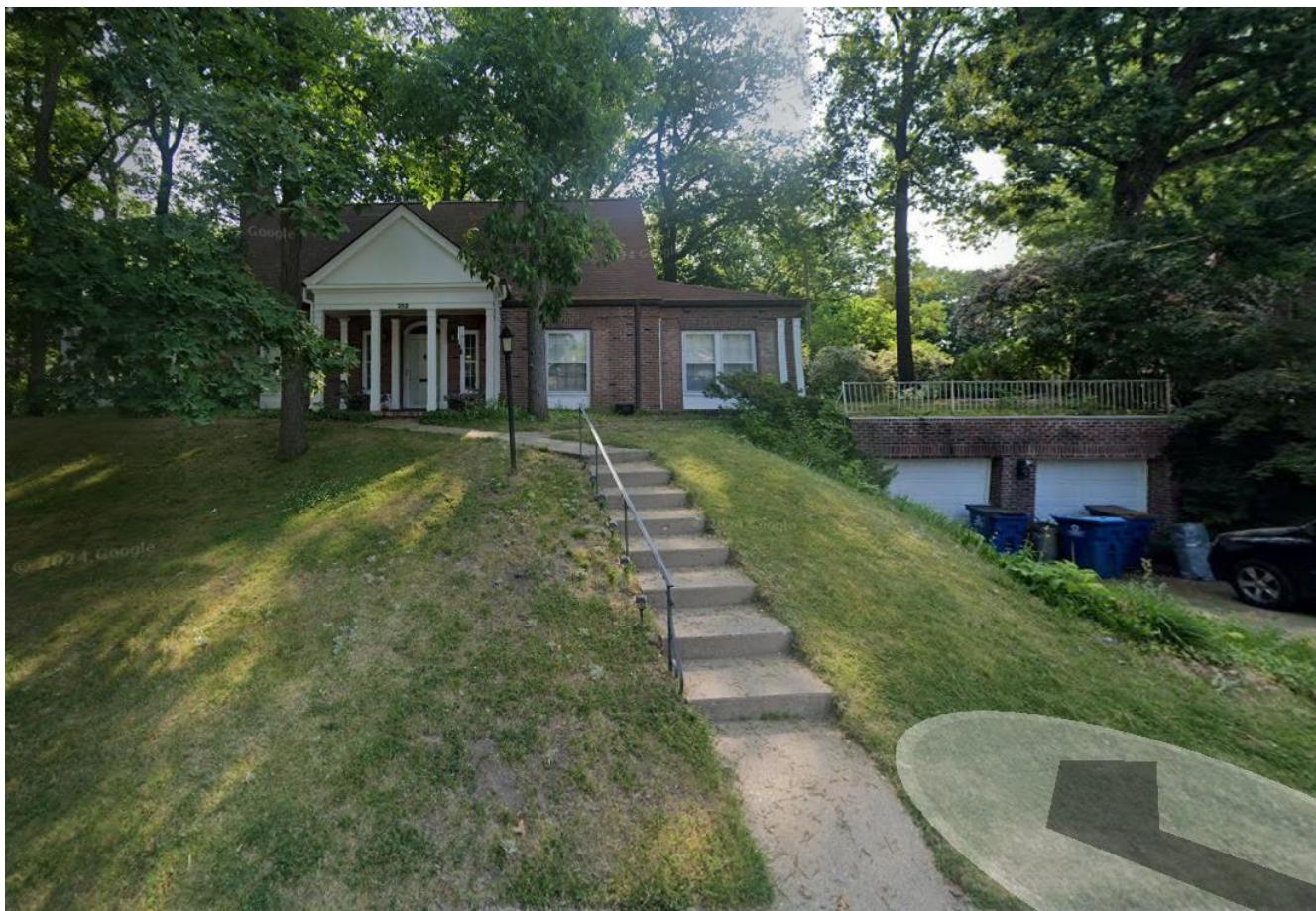


Figure 2: Street view of the subject structure at 252 Chestnut St, June 2023. Photo courtesy of Google Street View.

Summary of Request

The applicant has filed the subject HDC Certificate of Appropriateness application for the replacement of the existing roofing at the subject site. The proposed work includes the replacement of the existing 3-tab asphalt shingles with architectural asphalt shingles, as well as the replacement of the copper flat roofing system and copper drip edge with a new EPDM flat roofing system with copper drip edge (so as to maintain the existing aesthetic of the flat roofed portions of the home). For reference, conversation with the applicant confirmed that there are two separate portions of flat roofing on the home (one on the north end of the home and one on the south end of the home, with all sloped areas abutting the flat-roofing consisting of the asphalt shingles). All other portions of the proposed reroof work consist of sloped roofing surfaced with existing 3-tab asphalt shingles, and proposed to be replaced with architectural asphalt shingles.

While the portion of the proposed asphalt shingle roofing replacement would normally be permitted as minor class of work (like-for-like replacement of asphalt shingles), the proposed replacement of the copper flat roofing system with a new EPDM system represents a change in material composition, as well as the removal of what could definitely be considered to be a “historical material” from the resource. Given the proposed flat-roofing replacement, along with the proposed installation of a copper drip edge in an effort to maintain aesthetic consistency with the existing roofing from the ground level, staff finds it prudent to bring this item before the Historic District Commission (HDC) for consideration of a

Certificate of Appropriateness. While staff recommends approval of the proposed work, it may be beneficial for the HDC to seek additional clarification regarding specifics of the proposed copper drip edge installation, given the fact that this feature will result in the only anticipated visual alteration from the sidewalk and street level to the flat-roofed portion of the building.

Applicable HDC Guidelines and Analysis for a Certificate of Appropriateness for Building Renovations and Additions at 252 Chestnut St.

This property is reviewed in accordance with City of Battle Creek Building and Housing Code Chapter 1470 "Historic Preservation", as amended, the Michigan Local Historic Districts Act, as amended, and the criteria for the National Register of Historic Places as outlined in the Secretary of the Interior's Standards and Guidelines.

Specifically, the Commission shall follow Section 1470.09 *Review of Applications*, as follows:

(b) The Commission shall also consider all of the following:

- (1) The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.***
- (2) The relationship of any architectural features of the resource to the rest of the resource and the surrounding area.***
- (3) The general compatibility of the design, arrangement, texture, and materials proposed to be used.***
- (4) Other factors, such as aesthetic value that the Commission finds relevant.***

(c) The Historic District Commission shall review and act upon only exterior features of a resource and shall not review and act upon interior arrangements...

And

1470.17 PRESERVATION OF HISTORIC FEATURES.

- (a) Every reasonable effort shall be made to provide a compatible use for a resource which requires minimal alteration of the building, structure or site and its environment, or to use the resource for its originally intended purpose.***

Staff finds that the proposed reroofing of the building would maintain the resource in good repair for its intended purpose. The proposed replacement of asphalt shingles represents like-for-like work, with minimal to no visual alteration proposed. The proposed replacement of the existing copper flat roofing system on the north and south ends of the home is not anticipated to result any aesthetic change to the resource. Additionally, the applicant is proposing a copper drip edge system to help to ensure that potential visual alteration of the resource from the ground, sidewalk and street level is minimized, or nonexistent.

The Commission may find this standard to be met. However, the HDC may desire to seek further clarification from the applicant regarding specifics of the proposed copper drip edge system.

(b) *The distinguishing original qualities or character of a resource and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.*

Staff finds that the proposed replacement of 3-tab asphalt shingles with architectural asphalt shingles does not involve the destruction or removal of any historically significant material. Staff further finds that in speaking with the applicant that while the proposed replacement of the copper flat roofing sections with a new EPDM material does represent the removal of what could be viewed as a historic material, it is not anticipated that any visual alteration of the resource would be observable from the sidewalk and street level. Additionally, the applicant is proposing the replacement of the existing copper drip edge with a new, matching copper drip edge, so as to minimize or eliminate any aesthetic alteration to the resource.

The Commission may find this standard to be met.

(c) *All resources shall be recognized as products of their own time. Alterations that have no historic basis and which seek to create an earlier appearance shall be discouraged.*

The applicant is not proposing any alterations that have no historic basis or which seek to create an earlier appearance.

The Commission may find this standard to be met.

(d) *Changes which may have taken place in the course of time are evidence of the history and development of a resource and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.*

The proposed reroofing of the home on the subject site does not represent a change in any characteristic of the resource which may have acquired significance in its own right.

The Commission may find this standard to be met.

(e) *Distinctive stylistic features or examples of skilled craftsmanship which characterize a resource shall be treated with sensitivity.*

The existing copper flat-roofing system could be viewed as a distinctive stylistic feature more common to the era in which the resource on the subject site was constructed. However, as was mentioned in discussions with the applicant, the existing flat-roofing on the home is not visible from the ground, nor is the

proposed replacement EPDM material expected to be visible. Additionally, the applicant is proposing a like-for-like replacement of the copper drip edge in order to maintain aesthetic consistency with the existing character of the resource.

The Commission may find this standard to be met.

- (f) *Deteriorated architectural features shall be repaired rather than replaced wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other resources.*

The existing roofing material (both the asphalt shingles as well as the copper flat-roofing) has outlived its useful life and is in need of replacement in order to maintain the resource in good and safe repair. The applicant is attempting to replicate the existing aesthetic visible from the street of the flat-roofed portions of the home by providing a like-for-like replacement of the existing copper drip edge. While the proposed replacement of the existing copper flat-roofing with new EPDM material does represent the replacement of a significant material, the visual quality of the resource from the street level is not anticipated to be affected.

The Commission may find this standard to be met.

- (g) *The surface cleaning of resources shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic materials shall not be undertaken.*

No surface cleaning of the resource on the subject site is being proposed.

The Commission may find this standard to be met.

- (h) *Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.*

No groundwork associated with the proposed reroofing of the resource is anticipated.

The Commission may find this standard to be met.

- (i) *Contemporary design for alterations and additions to existing resources shall not be discouraged when such alterations and additions do not destroy significant historic, architectural or cultural material and when such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.*

The proposed replacement of the existing 3-tab asphalt shingles with new architectural asphalt shingles is not expected to create any visual alteration compared to the existing condition of the resource. Additionally, the proposed replacement of the copper flat-roofing on the north and south ends of the home, while a replacement of what could be considered a historic material, would not result in an alteration to the aesthetic character of the resource from the street given the applicant's inclusion of a copper drip edge. The proposed roofing replacement represents an alteration which is compatible with the size, scale, color and material character of the property, neighborhood and environment.

The Commission may find this standard to be met.

- (j) ***Whenever possible, new additions or alterations to resources shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the resource would not be impaired.***

The proposed work on the resource does not include an addition or alteration which, if removed in the future, would impair the essential form and integrity of the resource.

The Commission may find this standard to be met.

Recommendation

The applicant's proposed reroofing of the home at 252 Chestnut St represents appropriate treatment of the resource in the order for it to be maintained in good and safe condition. Further, the proposed reroofing is expected to result in minimal aesthetic alteration of the resource from the sidewalk and street. Any potential aesthetic alteration would, in the opinion of staff, remain consistent with the existing character of the resource and its environment.

Therefore, planning staff recommends approval of a Certificate of Appropriateness for the reroofing of the structure as detailed in this report and the subject application at 252 Chestnut St., as the request meets the standards outlined in Section 1470.09 "Review of Applications," Section 1470.17 "Preservation of Historic Features" and the Secretary of the Interior's Standards and Guidelines, as outlined in the staff report.

Support Material

Historic District Commission Application
Supplementary Photos



CITY OF BATTLE CREEK

COMMUNITY SERVICES DEPARTMENT – PLANNING AND ZONING

Historic District Commission

Application for (check all that apply):

Certificate of Appropriateness (for repairs or rehab projects)
 Notice to Proceed (for demolition requests)

Petition No. _____

Date Received: _____

RECEIVED
By Melody at 11:03 am, Dec 30, 2024

APPLICANT**

Name: Rick Olmstead

Address: 12234 6-mile Rd

Phone: 269-317-5244

Fax: _____

Email: Olmstead Construction04@gmail.com

OWNER (if different from applicant)

Name: Jessica Scott

Address: 252 Chestnut St

Phone: 269-908-0519

Fax: _____

Email: Tesslyt@yahoo.com

** If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.

SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 252 Chestnut St

Current use of the property: Residential Home

List existing structures on the property and the approximate age of each: home constructed

in 1935

Please list all activities/proposed work for the property area and how the proposed work relates to the

building as a whole: Removal + Replacement of Shingle Roofing along with the replacement of the flat roofing materials.

email Mcarlson@BattleCreekMI.gov

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application: The current sloped roof is

Does the work proposed include maintenance/repair of existing features of the structure or will it create new features that do not currently exist?

Perposing to Replace the existing 3 Tab Roof Shingles w/ Dimensional Shingles on All Pitched Roofs. Perposing to Replace the true copper flat with EPDM Flats & install copper drip edge trim to make it appear to have copper flats.

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application. If the material and location is not listed below, please use the spaces left at the bottom of the list to indicate the feature and the proposed materials.

	Existing Materials	Proposed Materials (if applicable)
Roof	<u>3 Tab Asphalt Shingles</u>	<u>Dimensional/Architectural Shingles</u>
Windows Flat Roof	<u>Copper Flat + Copper EdgeDip</u>	<u>EPDM Flats with Copper Edge Drip</u>
Siding		
Foundation		

For Notice to Proceed requests only:

What options have you explored for the repair or relocation of the structure proposed for demolition?

NA

SUBMITTAL REQUIREMENTS

As outlined in the attached information, each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application, including:

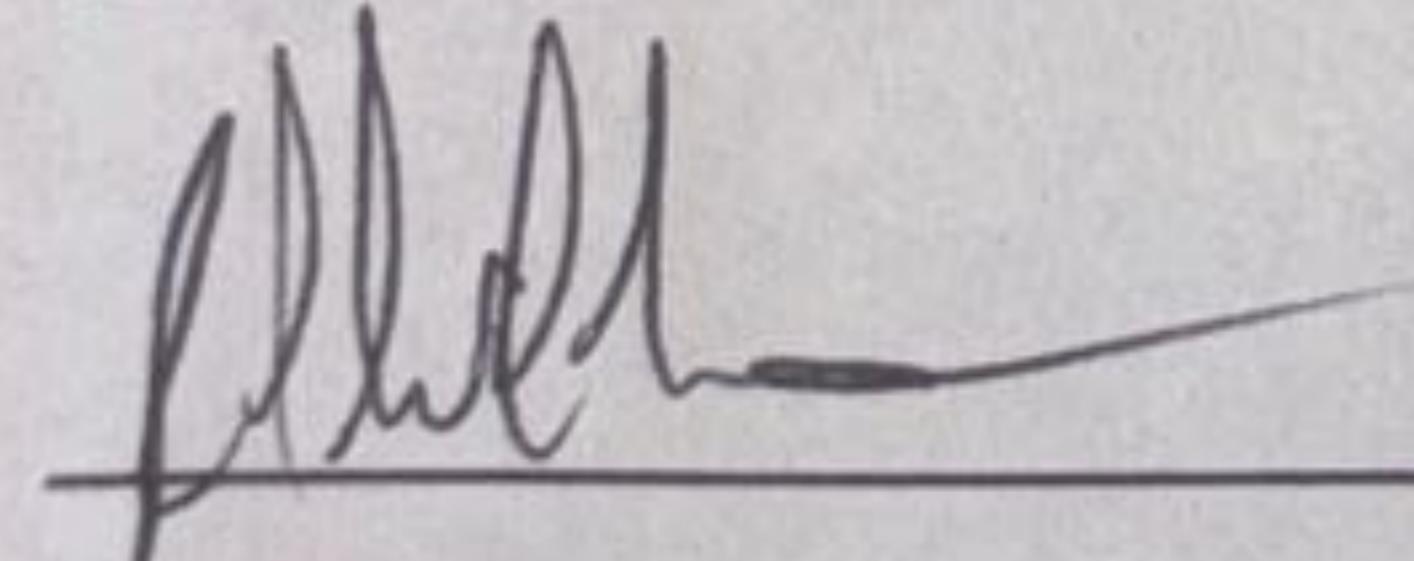
- (If the petitioner is not the owner) an affidavit authorizing an applicant to act on behalf of the owner
- Property Site Plan
 - Residential occupied properties: applicants shall submit a drawing of the property indicating existing and proposed property features, including but not limited to any structures, drives, fences, decks/patios, etc. The dimensions of all existing and proposed features shall be labeled, as well as property dimensions. Distances between existing and/or proposed buildings and property lines shall also be included on the drawing. Indicate the location of any proposed building additions subject to review by the HDC.

- Non-residential properties that propose any revisions from an approved site plan will require a new site plan submittal, per Chapter 1294 of the Zoning Ordinance. If the requested project will NOT result in changes to the property including buildings (new or additions), parking, landscaping, etc. the applicant shall submit a drawing as specified in 2a.
- Photographs of the property and structure, including all elevations of the building, historical photographs of the property and structure, and street photos of structures adjacent to the property.
- **For Certificate of Appropriateness applications only:**
 - Provide one set of drawings that explain exactly what is being proposed including details of the project, specifications, and product information as needed. All drawings should be to scale.
 - Provide specific information on all materials proposed for the project, including manufacturer names, illustrations, specifications, and samples. Material information should be submitted with this application and all samples should be brought to the meeting.
- **For Notice to Proceed applications only:**
 - Labeled photographs of the interior and exterior of the structure proposed for demolition.
 - Estimates for the complete repair of the property and estimates for demolition of the property OR
 - Documentation that the demolition is needed in order to further a major improvement program that has community-wide benefit OR
 - Any other supporting documentation that demonstrates compliance with any of the above standards for issuance of a Notice to Proceed.

Incomplete applications will not be forwarded to the Historic District Commission.

APPLICANT SIGNATURE

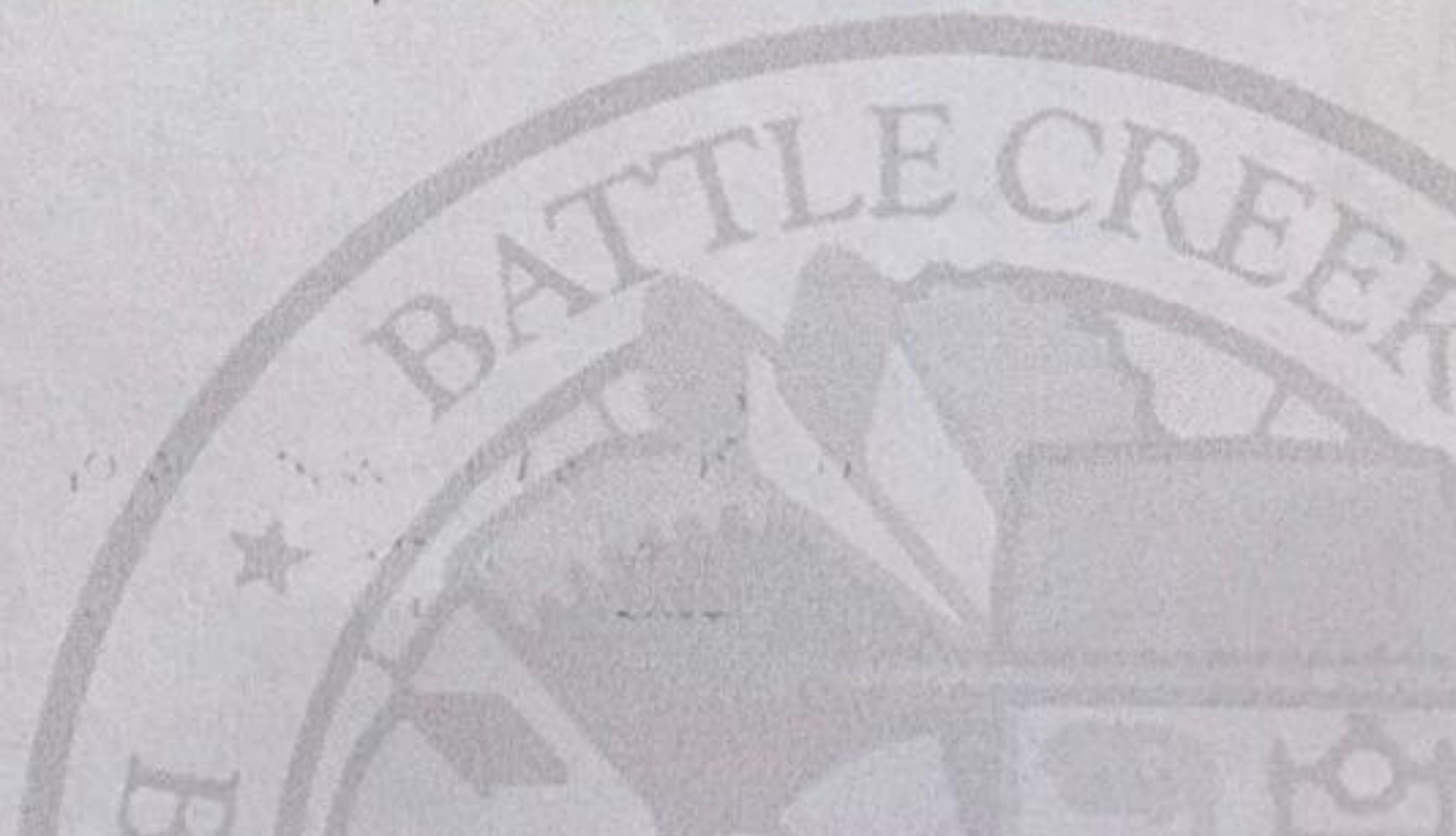
By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined herein.



Name

12-30-24

Date









Battle Creek Historic District Commission

Staff Report

Administrative Approval Quarterly Report

Meeting: January 13, 2025

To: Historic District Commission
From: Travis Sullivan, Planning and Zoning Administrator
Date: January 2, 2025
Subject: Quarterly reporting of all minor classes of work approved administratively in any of the local historic districts, as required by Section 1470.10 (Delegation of Authority)

Summary

Section 1470.10 of the City of Battle Creek Code of Ordinances requires that the Historic Commission review, on at least a quarterly basis, the certificates of appropriateness, if any, issued for work by the authorities delegated pursuant to Section 1470.10 to determine whether or not the delegated responsibility should be continued.

Given this requirement, staff has provided in this packet an inventory of each certificate of appropriateness issued for a minor class as specified by resolution of the Commission adopted on April 18, 2019 (amended on February 12, 2024). Such certificates were issued during the fourth quarter of the year 2024.

2024 Quarter 4 Administrative Approvals

1. 287 N Washington Ave. - Approval for the replacement of the existing wood and vinyl windows with new vinyl windows for the purpose of lead abatement, and in accordance with Section 106 approval from the Michigan State Historic Preservation Office in their evaluation of the resource, confirming that the resource is not eligible for listing on the National Register of Historic Places, and thus permitting rehabilitation activities.
2. 31 Hazel St. – Approval for the replacement of the historic front porch and the back deck on the home, including structure, porch flooring, railings, roof support posts, and steps. The work is intended to replicate the existing size and dimensions/looks of existing porches. All features will replicate the existing features, with no change to the size of either porch (or deck).
3. 22 Wilkes St. – Approval for the like-for-like (asphalt for asphalt shingles) reroofing of the home.
4. 111 W Manchester St. – Approval for the replacement of the existing asphalt-shingled roof with new asphalt shingles matching the existing; the replacement of existing artificial (vinyl) siding with a vinyl material that replicates clapboard and provided the exposed vertical dimension of the new “clapboard” is no more than five inches or within one inch of the missing

or covered original; no new material may cover nor require the removal of any original trim or architectural detail such as ornamental shingles, carved brackets, window hoods and the like; and routine maintenance to repair the stone foundation of the building as permitted in Section 1470.14 of the Historic Preservation Ordinance.

5. 70 W Michigan Ave. – Approval for the replacement of an existing rooftop HVAC unit. The unit will not be visible from the sidewalk in accordance with the HDC Minor Class of Work designation resolution.

Support Material

HDC Minor Class of Work Resolution

287 N Washington Ave. Certificate of Approval and Application

31 Hazel St. Certificate of Approval and Application

22 Wilkes St. Certificate of Approval and Application

111 W Manchester St. Certificate of Approval and Application

70 W Michigan Ave. Certificate of Approval and Application



City of Battle Creek

Department of Planning and Community Development
 10 N. Division Street, Ste. 117 • Battle Creek, Michigan 49014
 Phone: (269) 966-3320 • www.battlecreekmi.gov

HISTORIC DISTRICT COMMISSION

Application for:

Certificate of Appropriateness (for repairs or rehab projects)
 Notice to Proceed (for demolition requests)
 Minor Class of Work (admin approval)

Petition No. _____

Date Received: _____

APPLICANT**

NAME: Francia Acevedo

ADDRESS: 287 N Washington

PHONE: 269-589-9339 FAX: _____

EMAIL: franciaacevedo0822@gmail.com

OWNER (if different from applicant)

NAME: _____

ADDRESS: _____

PHONE: _____ FAX: _____

EMAIL: _____

****If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.**

SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 287 N Washington

Current use of the property: Residential use

List existing structures on the property and the approximate age of each. House built 1900. 124 years

Please list all activities/proposed work for the property area and how the proposed work relates to the building as a whole.

Lead abatement, plumbing repair, floor repair, replacement of windows in the most cost effective way possible

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application.

appearance should stay the same minus the use of storm windows.

Does the work proposed include maintenance/repair of existing features of the structure, or will it create new features that do not currently exist?

No

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application.

	Existing Materials	Proposed Materials (if applicable)
Roof	_____	_____
Windows	Wood and vinyl	vinyl
Siding	_____	_____
Foundation	_____	_____
Other	_____	_____

For Notice To Proceed requests only:

What options have you explored for the repair or relocation of the structure proposed for demolition?

SUBMITTAL REQUIREMENTS

As outlined in "HDC, Information and Procedure", each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application; incomplete applications will not be forwarded to the Historic District Commission.

APPLICANT SIGNATURE

By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined therein.

Name

Date

City of Battle Creek Department of Planning and Community Development
10 N. Division Street, Suite 117 • Battle Creek, Michigan 49014 • (269) 966-3320

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application.

appearance should stay the same minus the use of storm windows.

Does the work proposed include maintenance/repair of existing features of the structure, or will it create new features that do not currently exist?

No

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application.

	Existing Materials	Proposed Materials (if applicable)
Roof	_____	_____
Windows	Wood and vinyl	vinyl
Siding	_____	_____
Foundation	_____	_____
Other	_____	_____

For Notice To Proceed requests only:

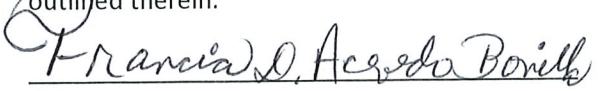
What options have you explored for the repair or relocation of the structure proposed for demolition?

SUBMITTAL REQUIREMENTS

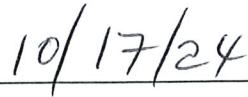
As outlined in "HDC, Information and Procedure", each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application; incomplete applications will not be forwarded to the Historic District Commission.

APPLICANT SIGNATURE

By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined therein.

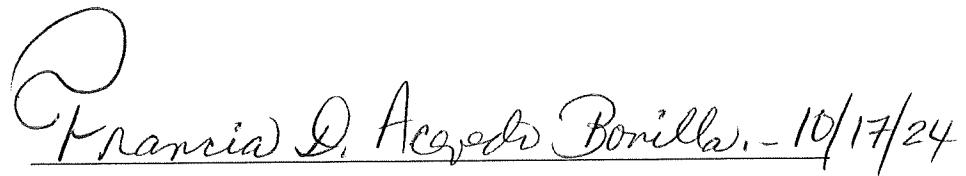


Name



Date

I Francia Acevedo, wish to have Christopher M. Douglas rehabilitation coordinator for Battle Creek Community Development represent me in my application to the Battle Creek local historic society for the purposes of presenting my residence for approval to use modern materials for improvements, updating, and repairs.



Francia Acevedo Bonilla - 10/17/24

Francia Acevedo

Date



STATE OF MICHIGAN
 MICHIGAN STRATEGIC FUND
 STATE HISTORIC PRESERVATION OFFICE

GRETCHEN WHITMER
 GOVERNOR

QUENTIN L. MESSER, JR.
 PRESIDENT

June 12, 2024

CHRISTOPHER DOUGLAS
 CITY OF BATTLE CREEK
 10 N DIVISION STREET
 SUITE 104
 BATTLE CREEK MI 49014

RE: ER96-524 City of Battle Creek Rehabilitation Projects (HUD)

Dear Mr. Douglas:

Under the authority of Section 106 of the National Historic Preservation Act of 1966, as amended, we have reviewed the housing rehabilitation consultation undertaking you submitted to our office on June 12, 2024, with the following findings.

Based on our data, in our opinion the below property is not eligible for listing in the National Register of Historic Places and further consultation is not required unless there is a change in scope, such as from rehabilitation to demolition.

Address	Municipality	County
287 North Washington Avenue	Battle Creek	Calhoun

If you have any questions, please contact Cassandra Nelson, Historian, at 517-648-4050 or by email at nelsonc32@michigan.gov. Thank you for your cooperation.

Sincerely,

Cassandra Nelson

Cassandra Nelson
 Historian
 for Ryan Schumaker
 State Historic Preservation Officer



CITY OF BATTLE CREEK
COMMUNITY SERVICES DEPARTMENT – PLANNING & ZONING

10/28/24

**HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL**

287 N Washington Ave.

Petition submitted by Christopher Douglas (City of Battle Creek Community Development) on behalf of Francia Acevedo for the replacement of wood and vinyl windows with new vinyl windows for the purpose of lead abatement, and in accordance with Section 106 approval from the Michigan State Historic Preservation Office in their evaluation of the resource, confirming that the resource is not eligible for listing on the National Register of Historic Places, and thus permitting rehabilitation activities.

Christopher Douglas
Rehabilitation Coordinator, City of Battle Creek
10 N Division St.
Battle Creek, MI 49014
Sent via email to: cmdouglas@battlecreekmi.gov

By authority given by the Historic District Commission of the City of Battle Creek Planning Department, staff may review applications for approval on minor renovations on behalf of the Historic District Commission of the City of Battle Creek.

By decision of the Planning and Zoning Administrator, your request to replace the existing wood and vinyl windows with new vinyl windows and in accordance with the Section 106 approval from the Michigan State Historic Preservation Office, as described in the Minor Class of Work application you submitted meets the Secretary of the Interior's Standards for rehabilitation and guidelines for rehabilitating historic buildings for property located at 287 N Washington Ave has been APPROVED as submitted with the stipulation that it meets City Code.

Note: Historic District Commission only requires approval of exterior renovations.

If you have any questions, please feel free to contact Mr. Travis Sullivan, Planning and Zoning Administrator at 966-3320 ext 1506.

Sincerely,

HISTORIC DISTRICT COMMISSION
OF THE CITY OF BATTLE CREEK

Travis Sullivan

By Direction of the Chairperson



CITY OF BATTLE CREEK
COMMUNITY SERVICES DEPARTMENT – PLANNING & ZONING

CC. Building Inspections



City of Battle Creek

Department of Planning and Community Development

10 N. Division Street, Ste. 117 • Battle Creek, Michigan 49014

Phone: (269) 966-3320 • www.battlecreekmi.gov

HISTORIC DISTRICT COMMISSION

Application for:

Certificate of Appropriateness (for repairs or rehab projects)
 Notice to Proceed (for demolition requests)
 Minor Class of Work (admin approval)

Petition No. _____

Date Received: _____

APPLICANT**

NAME: Jordan Cartwright - G8 Home Exteriors
ADDRESS: 2914 Cameron Dr Olivet MI 49076
PHONE: 517-652-4738 FAX: N/A
EMAIL: g8homeexteriors@gmail.com

OWNER (if different from applicant)

NAME: Neighborhoods inc - Stacy Hislop
ADDRESS: 47 N Washington ave Battle Creek
PHONE: 269-968-1113 FAX: _____
EMAIL: Shislop@NIBC.org

**If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.

SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 31 Hazel st

Current use of the property: Single family Rental

List existing structures on the property and the approximate age of each. _____

House - 1920

Please list all activities/proposed work for the property area and how the proposed work relates to the building as a whole.

Replace front & Back porches on the home.
including structure, porch flooring, railing, Roof support
posts, and steps.

City of Battle Creek Department of Planning and Community Development
10 N. Division Street, Suite 117 • Battle Creek, Michigan 49014 • (269) 966-3320

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application.

The work is intended to replicate the existing size and dimensions/looks of existing porches

Does the work proposed include maintenance/repair of existing features of the structure, or will it create new features that do not currently exist?

all of the work being done is due to maintenance needs of the home

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application.

	Existing Materials	Proposed Materials (if applicable)
Roof		
Windows		
Siding		
Foundation		
Other <u>porch</u>	<u>1x4 T&G porch floor</u> <u>Round Raf support columns</u>	<u>Replace with same</u> <u>as existing (as close as possible)</u>

For Notice To Proceed requests only:

What options have you explored for the repair or relocation of the structure proposed for demolition?

SUBMITTAL REQUIREMENTS

As outlined in "HDC, Information and Procedure", each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application; incomplete applications will not be forwarded to the Historic District Commission.

APPLICANT SIGNATURE

By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined therein.


Name

11/7/24
Date

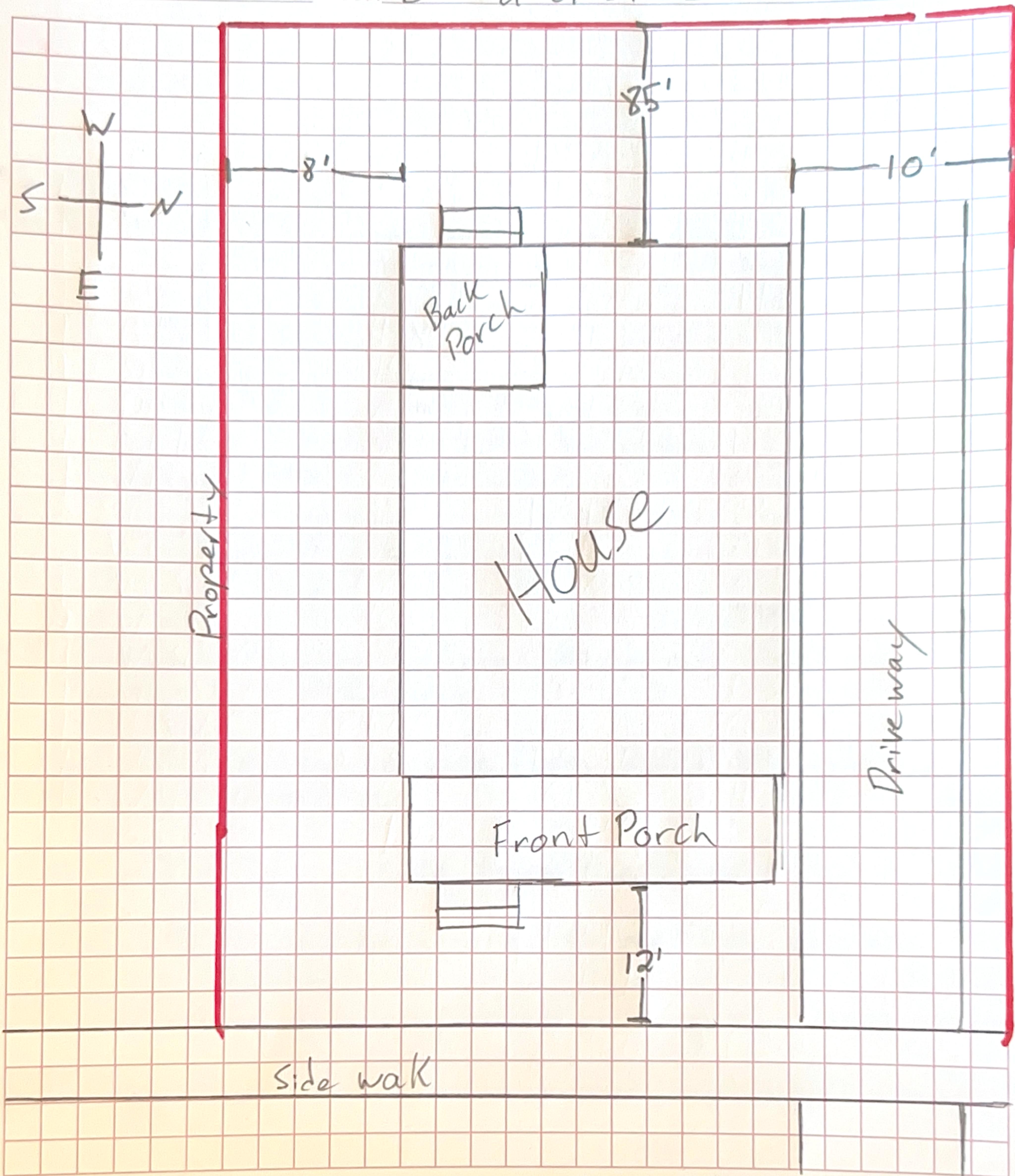


SIMONTON®
W I N D O W S

We make lasting impressions.™

Date: _____

Job: 31 Hazel st Battle Creek



1-800-SIMONTON

WWW.SIMONTON.COM



SIMONTON®
W I N D O W S

We make lasting impressions.™

Date: _____

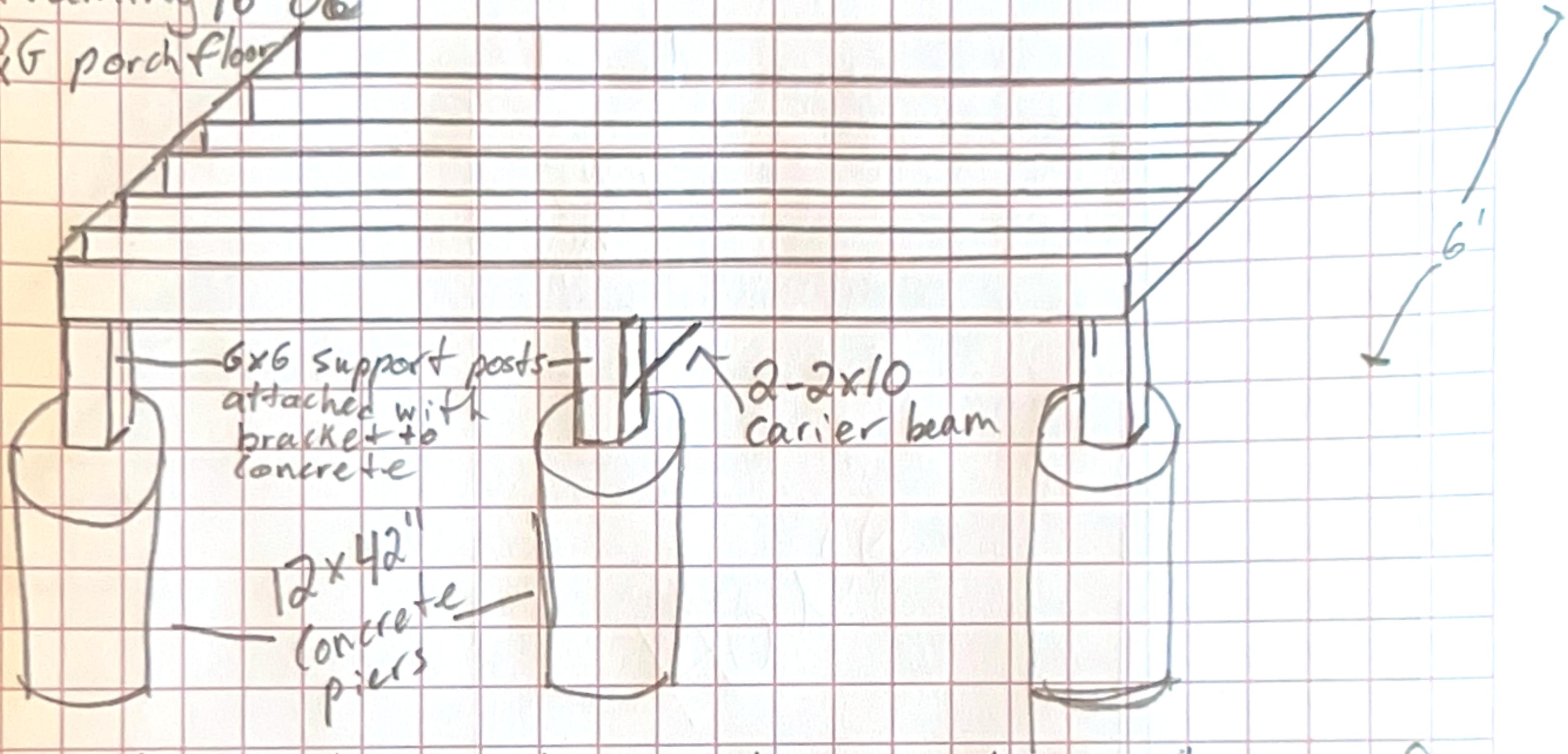
Job: 31 Hazel st Battle Creek

Front Porch

18'

1

- 2x10 framing 16" OC
- 1x4 T&G porch floor



- 3- 8" round structural columns to replicate existing roof supports will be used
- Steps will be cut on site from 2x12 stringers and 5/4" board treads & risers
- Rail will be made on site to replicate existing
- New lattice will be installed to replicate existing

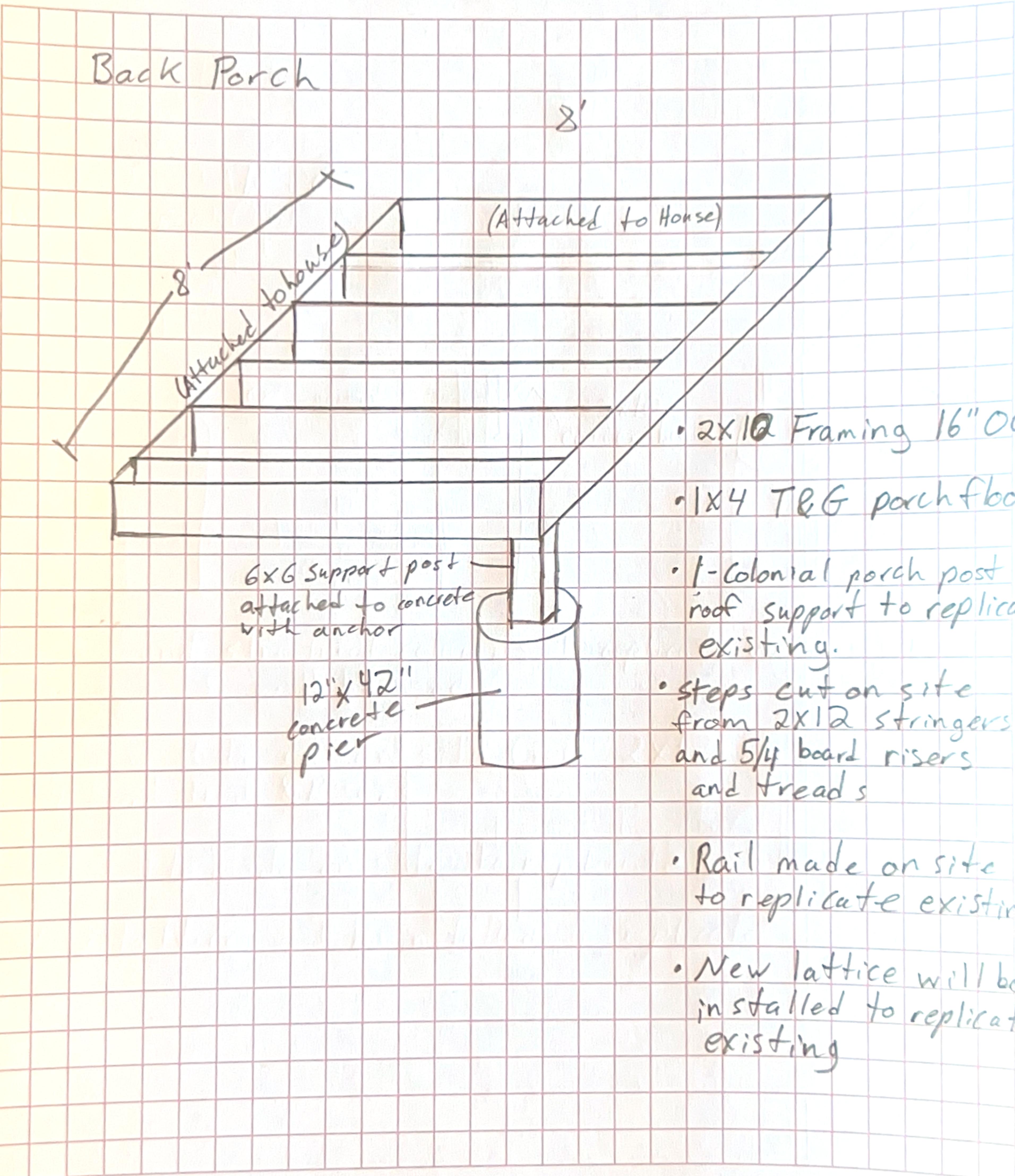


SIMONTON®
W I N D O W S

We make lasting impressions.™

Date: _____

Job: 31 Hazel st Battle Creek



1-800-SIMONTON

WWW.SIMONTON.COM



CITY OF BATTLE CREEK
COMMUNITY SERVICES DEPARTMENT – PLANNING & ZONING

11/13/24

**HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL**

31 Hazel St

Petition submitted by Jordan Cortright of G8 Home Exteriors for the replacement of the historic front porch and the back deck on the home, including structure, porch flooring, railings, roof support posts, and steps. The work is intended to replicate the existing size and dimensions/looks of existing porches. All features will replicate the existing features, with no change to the size of either porch (or deck).

Jordan Cortwright, G8 Home Exteriors
2914 Cameron Dr.
Olivet, MI 49076
Sent via email to: g8homeexteriors@gmail.com

By authority given by the Historic District Commission of the City of Battle Creek Planning Department, staff may review applications for approval on minor renovations on behalf of the Historic District Commission of the City of Battle Creek.

By decision of the Planner, your request to replace the front porch and back deck on the home with a new porch and deck matching the sizes of the existing, and with all features to match existing, as described in the Minor Class of Work application you submitted meets the Secretary of the Interior's Standards for rehabilitation and guidelines for rehabilitating historic buildings for property located at 31 Hazel St has been APPROVED as submitted with the stipulation that it meets City Code.

Note: Historic District Commission only requires approval of exterior renovations.

If you have any questions, please feel free to contact Mr. Travis Sullivan, Planner at 966-3320 ext 1506.

Sincerely,

HISTORIC DISTRICT COMMISSION
OF THE CITY OF BATTLE CREEK

Travis Sullivan
By Direction of the Chairperson



CITY OF BATTLE CREEK
COMMUNITY SERVICES DEPARTMENT – PLANNING & ZONING

CC. Building Inspections



CITY OF BATTLE CREEK

COMMUNITY SERVICES DEPARTMENT - PLANNING AND ZONING

Historic District Commission

Application for (check all that apply):

Certificate of Appropriateness (for repairs or rehab projects)
 Notice to Proceed (for demolition requests)

Petition No. _____

Date Received: _____

APPLICANT**

Name: Hunt for Home Construction

Address: 3720 Adams St Kalamazoo MI 49008

Phone: 269-350-9007 Fax: _____

Email: construction@huntforhome.com

OWNER (if different from applicant)

Name: Amilio Ramirez Fiesco & Margarita Chavez Villeda

Address: 22 Wilkes St Battle Creek MI 49037

Phone: _____ Fax: _____

Email: _____

** If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.

SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 22 Wilkes St Baattle Creek

Current use of the property: Residential

List existing structures on the property and the approximate age of each: _____

Please list all activities/proposed work for the property area and how the proposed work relates to the building as a whole: replace shingles

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application: none

Does the work proposed include maintenance/repair of existing features of the structure or will it create new features that do not currently exist?

no

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application. If the material and location is not listed below, please use the spaces left at the bottom of the list to indicate the feature and the proposed materials.

	Existing Materials	Proposed Materials (if applicable)
Roof	<u>shingles</u>	<u>shingles</u>
Windows	_____	_____
Siding	_____	_____
Foundation	_____	_____
_____	_____	_____

For Notice to Proceed requests only:

What options have you explored for the repair or relocation of the structure proposed for demolition?

SUBMITTAL REQUIREMENTS

As outlined in the attached information, each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application, including:

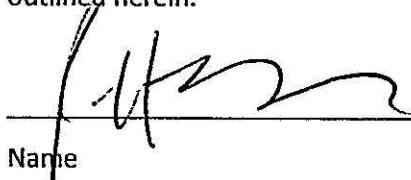
- (If the petitioner is not the owner) an affidavit authorizing an applicant to act on behalf of the owner
- Property Site Plan
 - Residential occupied properties: applicants shall submit a drawing of the property indicating existing and proposed property features, including but not limited to any structures, drives, fences, decks/patios, etc. The dimensions of all existing and proposed features shall be labeled, as well as property dimensions. Distances between existing and/or proposed buildings and property lines shall also be included on the drawing. Indicate the location of any proposed building additions subject to review by the HDC.

- Non-residential properties that propose any revisions from an approved site plan will require a new site plan submittal, per Chapter 1294 of the Zoning Ordinance. If the requested project will NOT result in changes to the property including buildings (new or additions), parking, landscaping, etc. the applicant shall submit a drawing as specified in 2a.
- Photographs of the property and structure, including all elevations of the building, historical photographs of the property and structure, and street photos of structures adjacent to the property.
- **For Certificate of Appropriateness applications only:**
 - Provide one set of drawings that explain exactly what is being proposed including details of the project, specifications, and product information as needed. All drawings should be to scale.
 - Provide specific information on all materials proposed for the project, including manufacturer names, illustrations, specifications, and samples. Material information should be submitted with this application and all samples should be brought to the meeting.,
- **For Notice to Proceed applications only:**
 - Labeled photographs of the interior and exterior of the structure proposed for demolition.
 - Estimates for the complete repair of the property and estimates for demolition of the property OR
 - Documentation that the demolition is needed in order to further a major improvement program that has community-wide benefit OR
 - Any other supporting documentation that demonstrates compliance with any of the above standards for issuance of a Notice to Proceed.

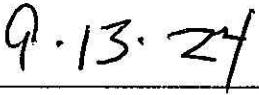
Incomplete applications will not be forwarded to the Historic District Commission.

APPLICANT SIGNATURE

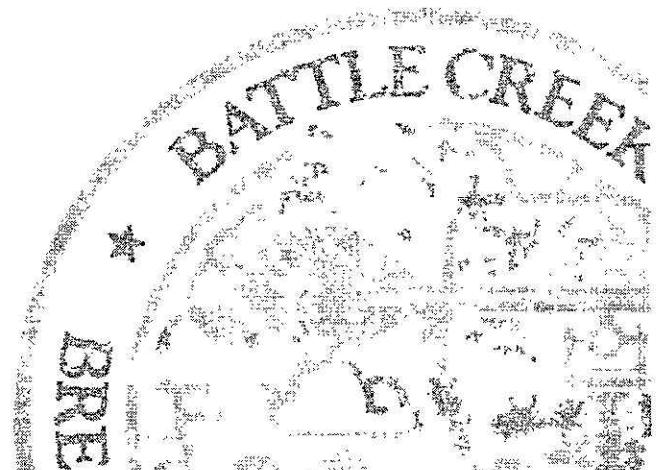
By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined herein.



Name



Date







Building Materials / Roofing / Roofing Shingles

Owens Corning® TruDefinition® Duration® Brownwood Architectural Roofing Shingles (32.8 sq. ft.)

Limited Lifetime Warranty



CALCULATE YOUR SAVINGS

● 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 89 90 91 92 93 94 95 96 97 98 99 99 100

EVERYDAY LOW PRICE

\$42.50

SALE PRICE

\$42.52

Valid Through 11/19/2014

17% REBATE*

\$4.83

Valid Through 11/19/2014

PRICE

\$37⁹⁹

AFTER

REBATE*

\$1.15 / sq. ft. After Rebate*

You Save \$6.07 after "Sale Price & Mail-in Rebate" (1)

SAVE BIG before it's too late! This sale price ends in:

2

days

17

hours

14

minutes

Add to Cart

1

+





CITY OF BATTLE CREEK
COMMUNITY SERVICES DEPARTMENT – PLANNING & ZONING

11/13/24

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL

22 Wilkes St.

Petition submitted by Hunt for Home Construction on behalf of Amilio Ramirez Fiesco and Margarita Chavez Villeda for the like-for-like (asphalt shingles for asphalt shingles) reroofing of the home located at 22 Wilkes St.

Hunt for Home Construction
 3720 Adams St.
 Kalamazoo, MI 49008
 Sent via email to: construction@huntforhome.com

By authority given by the Historic District Commission of the City of Battle Creek Planning Department, staff may review applications for approval on minor renovations on behalf of the Historic District Commission of the City of Battle Creek.

By decision of the Planner, your request to reroof the existing home located at 22 Wilkes St with materials matching the existing roofing (asphalt shingles for asphalt shingles), as described in the Minor Class of Work application you submitted meets the Secretary of the Interior's Standards for rehabilitation and guidelines for rehabilitating historic buildings for property located at 83 Walter Ave. has been APPROVED as submitted with the stipulation that it meets City Code.

Note: Historic District Commission only requires approval of exterior renovations.

If you have any questions, please feel free to contact Mr. Travis Sullivan, Planner at 966-3320 ext 1506.

Sincerely,

HISTORIC DISTRICT COMMISSION
 OF THE CITY OF BATTLE CREEK

Travis Sullivan
 By Direction of the Chairperson

CC. Building Inspections



City of Battle Creek

Department of Planning and Community Development
 10 N. Division Street, Ste. 117 • Battle Creek, Michigan 49014
 Phone: (269) 966-3320 • www.battlecreekmi.gov

Martin

269-268-6807

HISTORIC DISTRICT COMMISSION

Application for:

Certificate of Appropriateness (for repairs or rehab projects)
 Notice to Proceed (for demolition requests)
 Minor Class of Work (admin approval)

Petition No. _____

Date Received: _____

APPLICANT**

NAME: Maria de los angeles patino morillo

ADDRESS: 111 west manchester street Battle creek Mi 49037

PHONE: 269/753/4989 FAX: _____

EMAIL: diosexiste1994@gmail.com

OWNER (if different from applicant)

NAME: _____

ADDRESS: _____

PHONE: _____ FAX: _____

EMAIL: _____

**If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.

SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 111 west manchester street

Current use of the property: NO

List existing structures on the property and the approximate age of each. Shed.

Please list all activities/proposed work for the property area and how the proposed work relates to the building as a whole.

Roofing, Shingles + supports, Repairing foundations, repairs to siding.

City of Battle Creek Department of Planning and Community Development
10 N. Division Street, Suite 117 • Battle Creek, Michigan 49014 • (269) 966-3320

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application.

No Change in size of home.
would like to keep the same appearance.

Does the work proposed include maintenance/repair of existing features of the structure, or will it create new features that do not currently exist?

existing features.

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application.

	Existing Materials	Proposed Materials (if applicable)
Roof	<input checked="" type="checkbox"/> Asphalt	<u>Same</u>
Windows	<input checked="" type="checkbox"/>	
Siding	<input checked="" type="checkbox"/>	<u>will use same as existing.</u>
Foundation	<input checked="" type="checkbox"/> Rocks	<u>Same</u>
Other	<input checked="" type="checkbox"/>	

For Notice To Proceed requests only:

What options have you explored for the repair or relocation of the structure proposed for demolition?

SUBMITTAL REQUIREMENTS

As outlined in "HDC, Information and Procedure", each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application; incomplete applications will not be forwarded to the Historic District Commission.

APPLICANT SIGNATURE

By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined therein.



Name

11-4-2024

Date



CITY OF BATTLE CREEK
COMMUNITY SERVICES DEPARTMENT – PLANNING & ZONING

12/02/24

**HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL**

111 W Manchester St.

Petition submitted by Maria de los Angeles Patino for the replacement of the existing asphalt-shingled roof with new asphalt shingles matching the existing; the replacement of existing artificial (vinyl) siding with a vinyl material that replicates clapboard and provided the exposed vertical dimension of the new “clapboard” is no more than five inches or within one inch of the missing or covered original; no new material may cover nor require the removal of any original trim or architectural detail such as ornamental shingles, carved brackets, window hoods and the like; and routine maintenance to repair the stone foundation of the building as permitted in Section 1470.14 of the Historic Preservation Ordinance.

Maria de los Angeles Patino
111 W Manchester St.
Battle Creek, MI 49037
Sent via email to: diosexistel1994@gmail.com

By authority given by the Historic District Commission of the City of Battle Creek Planning Department, staff may review applications for approval on minor renovations on behalf of the Historic District Commission of the City of Battle Creek.

By decision of the Planner, your request to replace in a like-for-like manner the existing asphalt shingles and the existing vinyl siding, as well as the routine maintenance of the existing stone foundation on the home at 111 W Manchester St. with materials and design matching the existing, as described in the Minor Class of Work application you submitted meets the Secretary of the Interior's Standards for rehabilitation and guidelines for rehabilitating historic buildings for property located at 111 W Manchester St. has been APPROVED as submitted with the stipulation that it meets City Code.

Note: Historic District Commission only requires approval of exterior renovations.

If you have any questions, please feel free to contact Mr. Travis Sullivan, Planning and Zoning Administrator at 966-3320 ext 1506.

Sincerely,

HISTORIC DISTRICT COMMISSION
OF THE CITY OF BATTLE CREEK



CITY OF BATTLE CREEK
COMMUNITY SERVICES DEPARTMENT – PLANNING & ZONING

Travis Sullivan
By Direction of the Chairperson

CC. Building Inspections



CITY OF BATTLE CREEK

COMMUNITY SERVICES DEPARTMENT - PLANNING AND ZONING

Historic District Commission

Application for (check all that apply):

Certificate of Appropriateness (for repairs or rehab projects)

Notice to Proceed (for demolition requests)

Petition No. _____

Date Received: _____

APPLICANT**

Name: Em. Sergeant Company

Address: 542 E. Michigan Ave

Phone: 269-343-1363 Fax: 269-343-3133

Email: Gene@EmSergeant.com

OWNER (if different from applicant)

Name: THE HINMAN Company

Address: 750 Tradecenter Way Portage MI

Phone: 269-342-1900 Fax: _____

Email: Dave@hinmancompany.com

** If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.

SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 70 W. Michigan Ave

Current use of the property: Commercial Rental

List existing structures on the property and the approximate age of each: _____

Please list all activities/proposed work for the property area and how the proposed work relates to the building as a whole: _____

Existing rooftop replacement unit is dead and will not be visible from the sidewalk

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application: _____

Does the work proposed include maintenance/repair of existing features of the structure or will it create new features that do not currently exist?

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application. If the material and location is not listed below, please use the spaces left at the bottom of the list to indicate the feature and the proposed materials.

	Existing Materials	Proposed Materials (if applicable)
Roof	_____	_____
Windows	_____	_____
Siding	_____	_____
Foundation	_____	_____
HVAC Equip	Rooftop	Rooftop will NOT Be visible from the sidewalk

For Notice to Proceed requests only:

What options have you explored for the repair or relocation of the structure proposed for demolition?

SUBMITTAL REQUIREMENTS

As outlined in the attached information, each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application, including:

- (If the petitioner is not the owner) an affidavit authorizing an applicant to act on behalf of the owner
- Property Site Plan
 - Residential occupied properties: applicants shall submit a drawing of the property indicating existing and proposed property features, including but not limited to any structures, drives, fences, decks/patios, etc. The dimensions of all existing and proposed features shall be labeled, as well as property dimensions. Distances between existing and/or proposed buildings and property lines shall also be included on the drawing.

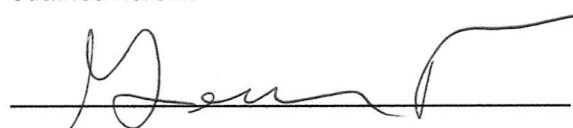
Indicate the location of any proposed building additions subject to review by the HDC.

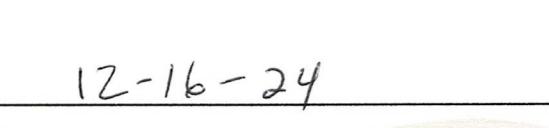
- Non-residential properties that propose any revisions from an approved site plan will require a new site plan submittal, per Chapter 1294 of the Zoning Ordinance. If the requested project will NOT result in changes to the property including buildings (new or additions), parking, landscaping, etc. the applicant shall submit a drawing as specified in 2a.
- Photographs of the property and structure, including all elevations of the building, historical photographs of the property and structure, and street photos of structures adjacent to the property.
- **For Certificate of Appropriateness applications only:**
 - Provide one set of drawings that explain exactly what is being proposed including details of the project, specifications, and product information as needed. All drawings should be to scale.
 - Provide specific information on all materials proposed for the project, including manufacturer names, illustrations, specifications, and samples. Material information should be submitted with this application and all samples should be brought to the meeting,.
- **For Notice to Proceed applications only:**
 - Labeled photographs of the interior and exterior of the structure proposed for demolition.
 - Estimates for the complete repair of the property and estimates for demolition of the property OR
 - Documentation that the demolition is needed in order to further a major improvement program that has community-wide benefit OR
 - Any other supporting documentation that demonstrates compliance with any of the above standards for issuance of a Notice to Proceed.

Incomplete applications will not be forwarded to the Historic District Commission.

APPLICANT SIGNATURE

By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined herein.


Name


Date





CITY OF BATTLE CREEK
COMMUNITY SERVICES DEPARTMENT – PLANNING & ZONING

12/17/24

**HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL**

70 W Michigan Ave.

Petition submitted by E.M. Sergeant Company on behalf the Hinman Company for the replacement of an existing rooftop HVAC unit. The unit will not be visible from the sidewalk in accordance with the HDC Minor Class of Work designation resolution.

E.M. Sergeant Company
542 E Michigan Ave.
Battle Creek, MI 49017
Sent via email to: gene@emsargeant.com

By authority given by the Historic District Commission of the City of Battle Creek Planning Department, staff may review applications for approval on minor renovations on behalf of the Historic District Commission of the City of Battle Creek.

By decision of the Planner, your request to replace the existing rooftop HVAC unit in a location not visible from the sidewalk for the property located at 70 W Michigan Ave., as described in the Minor Class of Work application you submitted meets the Secretary of the Interior's Standards for rehabilitation and guidelines for rehabilitating historic buildings and has been APPROVED as submitted with the stipulation that it meets City Code.

Note: Historic District Commission only requires approval of exterior renovations.

If you have any questions, please feel free to contact Mr. Travis Sullivan, Planner at 966-3320 ext 1506.

Sincerely,

HISTORIC DISTRICT COMMISSION
OF THE CITY OF BATTLE CREEK

Travis Sullivan
By Direction of the Chairperson

CC. Building Inspections



Battle Creek Historic District Commission

Staff Report

SHPO CLG Grant Letter of Support

Meeting: January 13, 2025

To: Historic District Commission
From: Travis Sullivan, Planning and Zoning Administrator
Date: December 26, 2024
Subject: Certified Local Government Grant Application; Design Guidelines / Economic and Technical Feasibility Documents

2025 Historic Preservation CLG Grant

The Michigan State Historic Preservation Office (SHPO) is soliciting Certified Local Government (CLG) communities (including the City of Battle Creek) to apply for the 2025 Historic Preservation CLG Grant to help enhance local historic architectural resources. This federally-funded grant passes through SHPO to the awarded CLG community for purposes such as preservation planning, survey and designation, educational activities and materials, and pre-development and development work for the rehabilitation/restoration of properties listed on the National Register of Historic Places. This competitive grant requires no match from the local unit (although a cash match from the CLG can strengthen the application by illustrating the municipality's commitment to the project). All funding awarded through SHPO would be provided as a reimbursement to the community. The filing deadline for the grant application is February 3, 2025.

In order to meet SHPO's submittal requirements, staff is requesting a letter of support from the Historic District Commission (HDC), which will be included with the complete set of documents to be attached to the City's grant application.

Design Guidelines / Economic and Technical Feasibility Document

As has been discussed in recent meetings (including the formation of a committee that will be tasked with drafting the proposed documents), the City of Battle Creek is in need of guiding documents in the way of a detailed set of design guidelines, as well as a set of standards for the evaluation of projects which may encounter exceptional economic and technical difficulties.

Recent years have seen a marked increase in the cost of traditional building materials, as well as in the labor required to complete preservation and rehabilitation projects. The strain of these increased costs is compounded by the fact that a high percentage of the City's single-family housing stock which is located within the City's Old Advent Town local historic district do not possess the property values

that would support such historically contextual preservation activities (window and siding replacements with materials matching the originals, etc.).

A detailed set of design guidelines, if adopted by the HDC, would provide needed direction to staff in evaluating and providing recommendations with regard to proposed work within the City's local historic districts, to the Commission in providing a concrete set of standards upon which to rest its decisions, and to property owners and developers in the community in their efforts to maintain and rehabilitate the City's historic resources. Likewise, a document setting the standards by which those projects which may be exposed to exceptional levels of economic and technical difficulties will help to ensure that decisions of the HDC maintain consistency, while also providing applicants with such difficulties a more clear roadmap to an approval that takes into consideration the complexity of the project, the financial value of the work compared to that of the property itself, and the Secretary of the Interior's Standards for Rehabilitation and those outlined in Chapter 1470 (Historic Preservation).

Next Steps

City staff will continue compiling necessary paperwork to apply for this grant, as well pursue options for obtaining cost estimates from potential contractors that may be hired to assist in the drafting the aforementioned documents. Staff anticipates providing continued updates on this grant proposal to the HDC in the future (anticipated date of award July 2025).

Support Material

FY 2025 CLG Project Grant Application Checklist
HDC Approval Letter



Michigan Certified Local Government Program

FY2025 CLG Project Grant Application Checklist

The State Historic Preservation Office (SHPO) is accepting fiscal year (FY) 2025 Certified Local Government (CLG) grant project applications through **February 3, 2025**. Funds are available for documentation, education, and community-based preservation planning projects, as well as pre-development and development activities.

Grant Manual and Required Forms: This manual, the grant application, all required forms, and templates are available on the SHPO website at www.michigan.gov/CLGgrants.

Webinar: An informational webinar will be held on October 22, 2024, at 1:00 p.m. Registration is required and is available [here](#).

Application Due Date and Submission: Completed applications must be received by SHPO via e-mail **no later than 5:00 p.m. on Monday, February 3, 2025**. No extensions will be granted, and incomplete or late submissions will not be scored.

A complete application consists of the following:

- CLG grant application form
- Grant application signature page
- Exhibit A. Financial Certification
- Exhibit B. Resolution(s)
- Exhibit C. Support Letter(s)
- Exhibit D. Supporting Documentation

Submit one (1) complete application, inclusive of required exhibits, via e-mail to Alan Higgins at higginsS3@michigan.gov. SHPO will confirm receipt of applications within 48 hours. If needed, SHPO can provide a location for uploading large files.

Application Assistance and SHPO Review: Applicants are **encouraged but not required** to discuss their project with SHPO prior to applying for a grant. Applicants may also submit draft applications to SHPO for preliminary review. SHPO will identify omissions and inconsistencies and provide relevant feedback. Requests for draft review of applications must be submitted to Alan Higgins at higginsS3@michigan.gov by **December 6, 2024**.

This checklist is provided for the benefit of applicants only and should not be included with the grant application. **Please note: Exhibits may take time to gather, particularly required resolutions. Applicants are encouraged to start gathering materials early in the grant application to ensure timely submission.**

Required for all Projects:

- Complete application form
- Signed certifications and signature page
- Exhibit A: Financial Verification
 - Verification of Availability of Funds (documentation showing 100% of project costs are available)
 - Financial Management certification
- Exhibit B: Resolution from the CLG
- Exhibit C: Support letter from the Historic District Commission

Exhibit D Photograph Requirements

- Required for:
 - Historic Resource Surveys (5-10 photos of representative properties and streetscapes)
 - Study Committee Reports (5-10 photos of representative properties and streetscapes)
 - National Register Nominations (5-10 photos for individual properties and 10-15 photographs for historic districts)
 - Planning projects (5-10 photos of representative properties/areas to be included in the study)
 - Archaeological Studies (3-5 photographs showing conditions at the property)
 - Hands-on Trades Training (5-10 photographs showing conditions at the property)
 - Heritage Tourism Materials (5-10 photos of representative properties/areas to be included in the materials)
 - Pre-development Project (5-15 photos showing existing character and conditions at the property)
 - Development Project (5-15 photos showing existing character and conditions at the property)
- Submitted electronically as individual files in JPEG or TIFF format

Exhibit D Map Requirements

- Required for:
 - Historic Resource Surveys
 - Study Committee Reports
 - National Register Nominations
 - Planning Projects
 - Archaeological Studies
 - Pre-development Projects
 - Development Projects

Additional Requirements for Pre-Development and Development Projects:

- Letter from the property owner stating no tax incentives have been or will be taken for the proposed work
- Letter from the property owner indicating they are the legal owner of the property and support the grant application and proposed work
- Copy of the property deed or other sufficient documentation showing property ownership
- Designated flood area certification
- DEVELOPMENT ONLY: Copies of plans, drawings, and/or specifications for the proposed work

Additional Requirements for Sponsored Projects

- Resolution from the CLG's partner entity
- Memorandum of Understanding outlining responsibilities

Optional Documentation

- Additional support letters from other groups (e.g., historical society, Main Street organization, planning commission, community groups, etc.)
- Cost estimates or quotes for the proposed work (not formal bids)
- Copies of relevant documents (e.g., condition assessments or structural analysis), documents to be updated (e.g. old design guidelines to be updated through the grant), mock-ups, or models that serve as reference for the proposed project



CITY OF BATTLE CREEK

COMMUNITY SERVICES DEPARTMENT – PLANNING and ZONING

January 13, 2025

HISTORIC PRESERVATION GRANT

The Historic District Commission of the City of Battle Creek unanimously supports the City of Battle Creek in pursuing the 2025 Certified Local Government (CLG) grant for purposes of funding the drafting of a detailed set of local historic district design guidelines by which future projects will be evaluated, as well as the development of a document which provides direction in evaluating work within the City's local historic districts which may encounter exceptional levels of economic and/or technical difficulties in their rehabilitation efforts.

This grant is provided by the National Park Service, U.S. Department of the Interior through the Michigan State Historic Preservation Office (SHPO). The grant provides cost reimbursement for preservation planning projects, including the proposed documents described in this letter.

If awarded the grant, it is anticipated that a Request for Proposals (RFP) would be issued during the third quarter of calendar year 2025, with award of the project a subsequent development of the proposed documents beginning during the fourth quarter of calendar year 2025.

If you have any questions, please feel free to contact Travis Sullivan at 966-3320.

Sincerely,

HISTORIC DISTRICT COMMISSION
OF THE CITY OF BATTLE CREEK

Ross Simpson, Chairperson